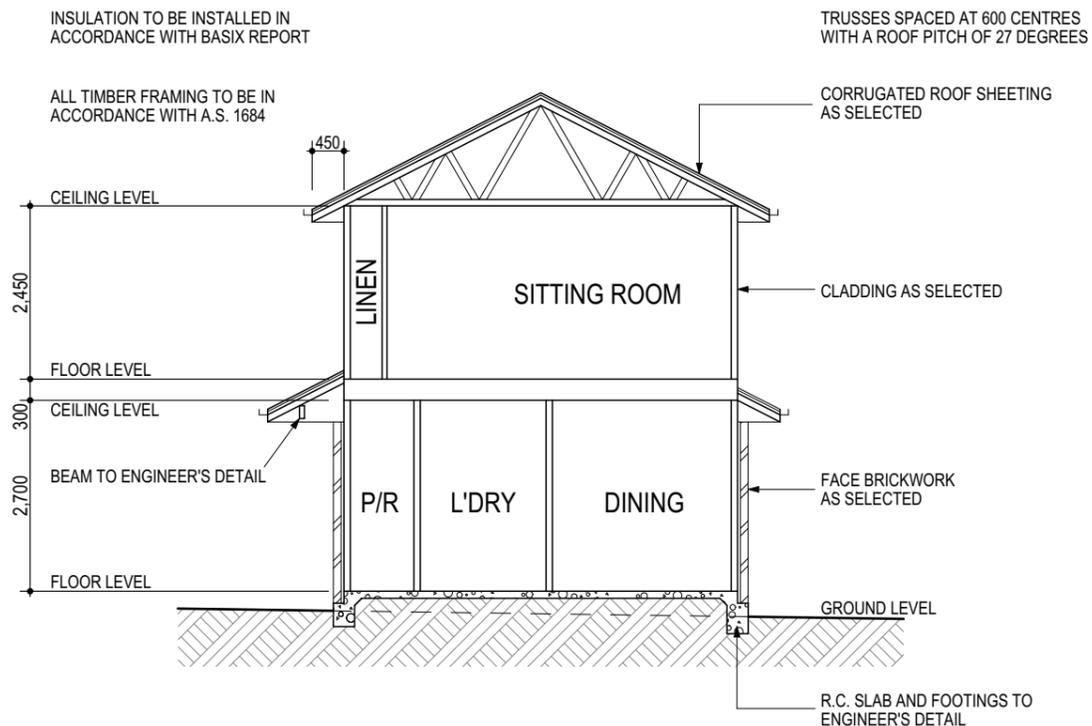




Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574  
 www.nathers.gov.au



**UNIT 1**  
**SECTION S/01**  
 SCALE 1:100 @ A3

**Unit 1 BASIX Notes:**

**WATER**

- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
- 3 star rated showerheads
- 4 star rated toilets & taps

**THERMAL COMFORT**

- Waffle pod slab
- Minimum R2.5 insulation to external walls(excluding garage)
- R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3,4 & 6)
- R5.0 insulation to ceilings (excludes garage)(units 5 only)
- R2.5 insulation to walls between house & garage
- R2.5 insulation to ceiling/floor between house & garage
- R2.5 insulation to walls between house & roof space
- R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
- R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
- Sarking to underside of roof
- Medium wall & dark roof colour
- Weatherseals to all external doors including internal access to garage
- Default floor coverings used in NatHERS rating
- Insulation must be installed in accordance with NCC and relevant Australian Standards.
- Recessed downlights have been included in the NatHERS rating( to be sealed LED downlights)
- Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
- All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
- Skylights to be single glazed clear

**ENERGY**

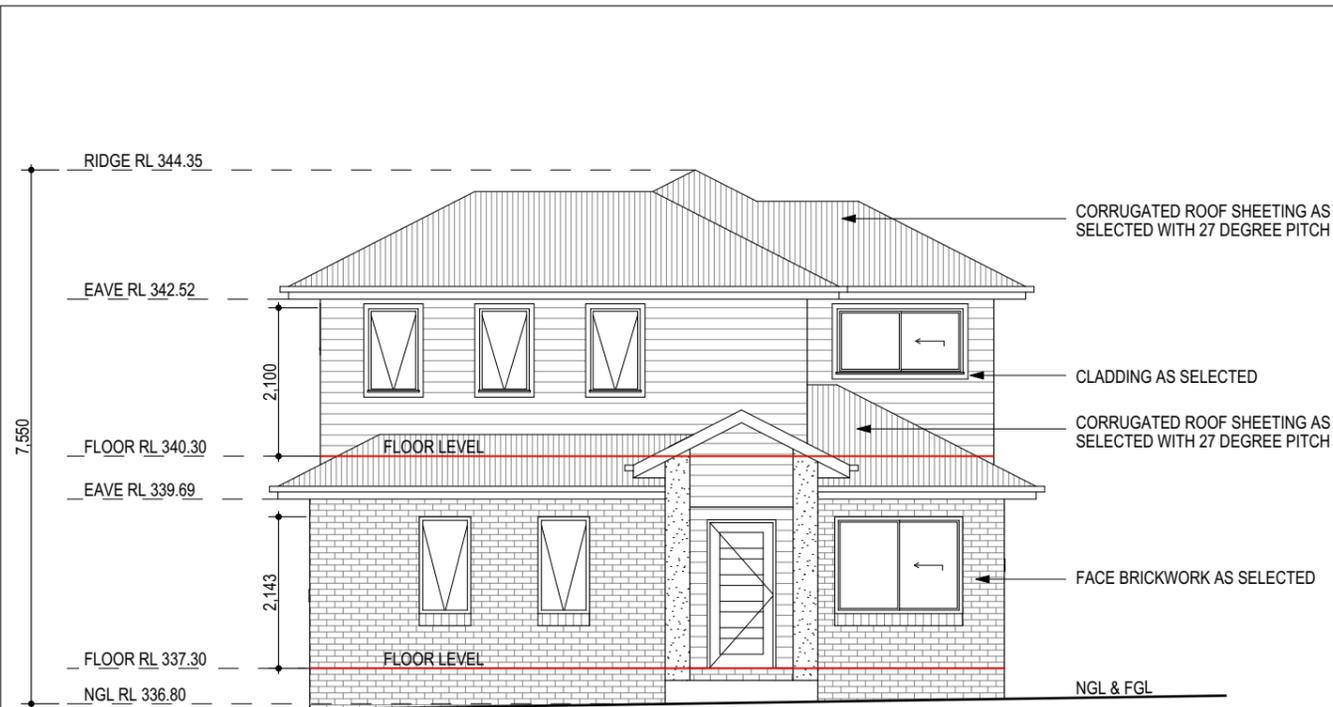
- Gas instantaneous 6 star HWS
- Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
- Ducted rangehood to kitchen with manual on/off switch(sealed)
- Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
- Gas cooktop & electric oven
- Well ventilated fridge space
- Permanent outdoors clothesline
- Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
- Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

**UNIT 1 WINDOW SCHEDULE**

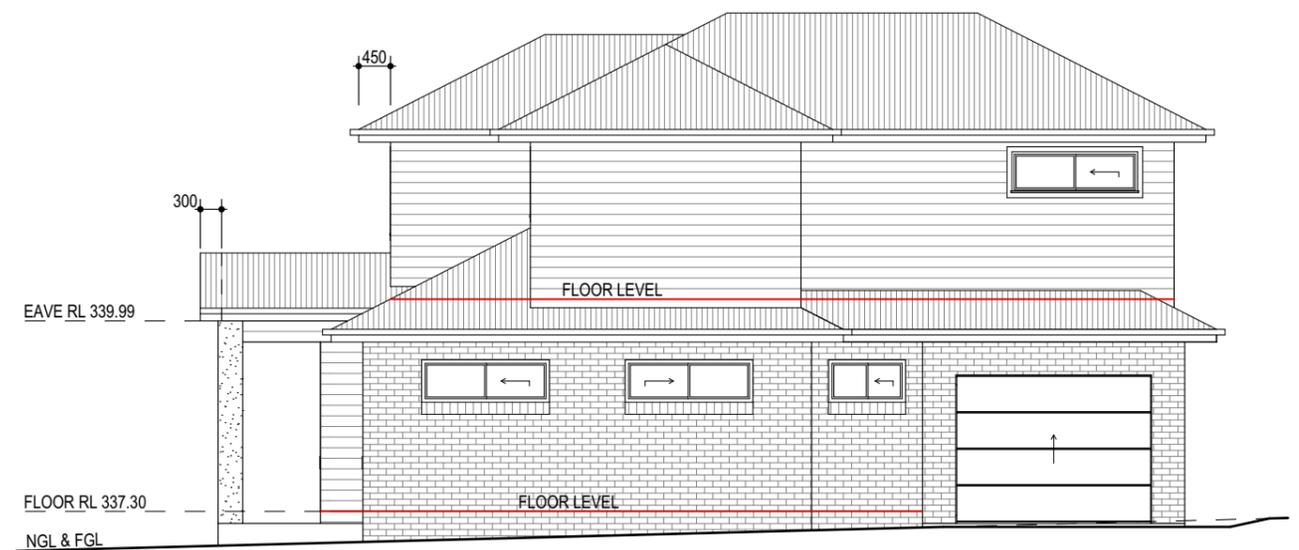
ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U1 W01	SW 1318	1,370	1,810			2,143
U1 W02	AW 1307	1,370	730			2,143
U1 W03	AW 1307	1,370	730			2,143
U1 W04	SW 1018	1,030	1,810			2,143
U1 W05	SW 1014	1,030	1,450			2,143
U1 W06	SD 2118	2,100	1,810			2,143
U1 W07	SW 0610	600	1,090			2,143
U1 W08	SW 0618	600	1,810			2,143
U1 W09	SW 0618	600	1,810			2,143
U1 W10	SW0918	944	1,810			2,100
U1 W11	AW 1207	1,200	730			2,100
U1 W12	AW 1207	1,200	730			2,100
U1 W13	AW 1207	1,200	730			2,100
U1 W14	SW 0621	600	2,140			2,100
U1 W15	SW 0621	600	2,140			2,100
U1 W16	SW 1021	1,030	2,140			2,100
U1 W17	SW 0618	600	1,810			2,100

WINDOW & DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING

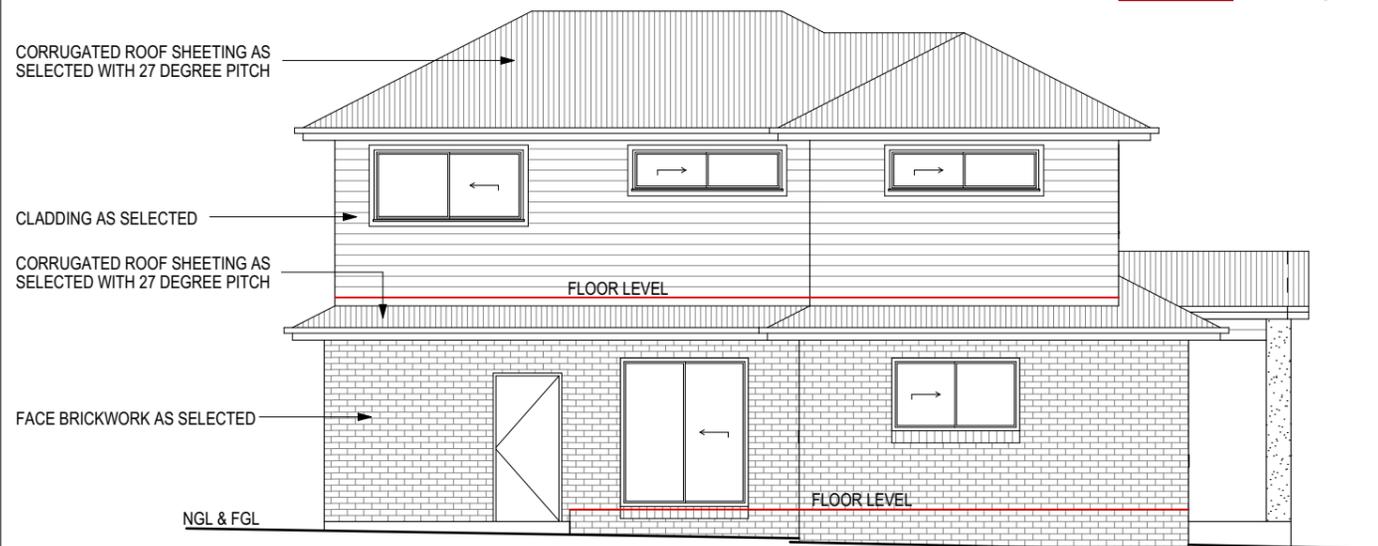
			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Unit 1 Section & Window Schudule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY: AD      CHECKED BY: GKI	LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880    LATITUDE: -34.29186	FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3	ISSUE: A	
DATE	REVISION	ISSUE				SHEET NO: 3 of 29



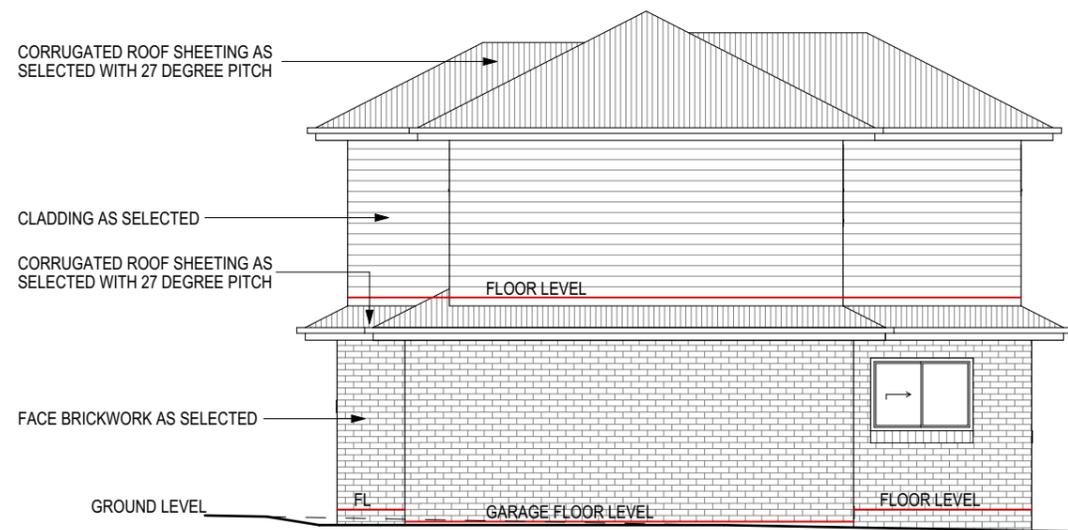
**UNIT 1  
WESTERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 1  
SOUTHERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 1  
NORTHERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 1  
EASTERN ELEVATION**  
SCALE 1:100 @ A3



Certificate no.: 0003879046  
Assessor Name: Scott Douglass  
Accreditation no.: 13/1547  
Certificate date: 22 May 2019  
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574



14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
Medium Density Development

DRAWING TITLE :  
Unit 1 Elevations

DRAWN BY : AD      CHECKED BY : GKI  
LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
Mr Daniel Carpenter

SITE DETAILS:  
No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m  
FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019

DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

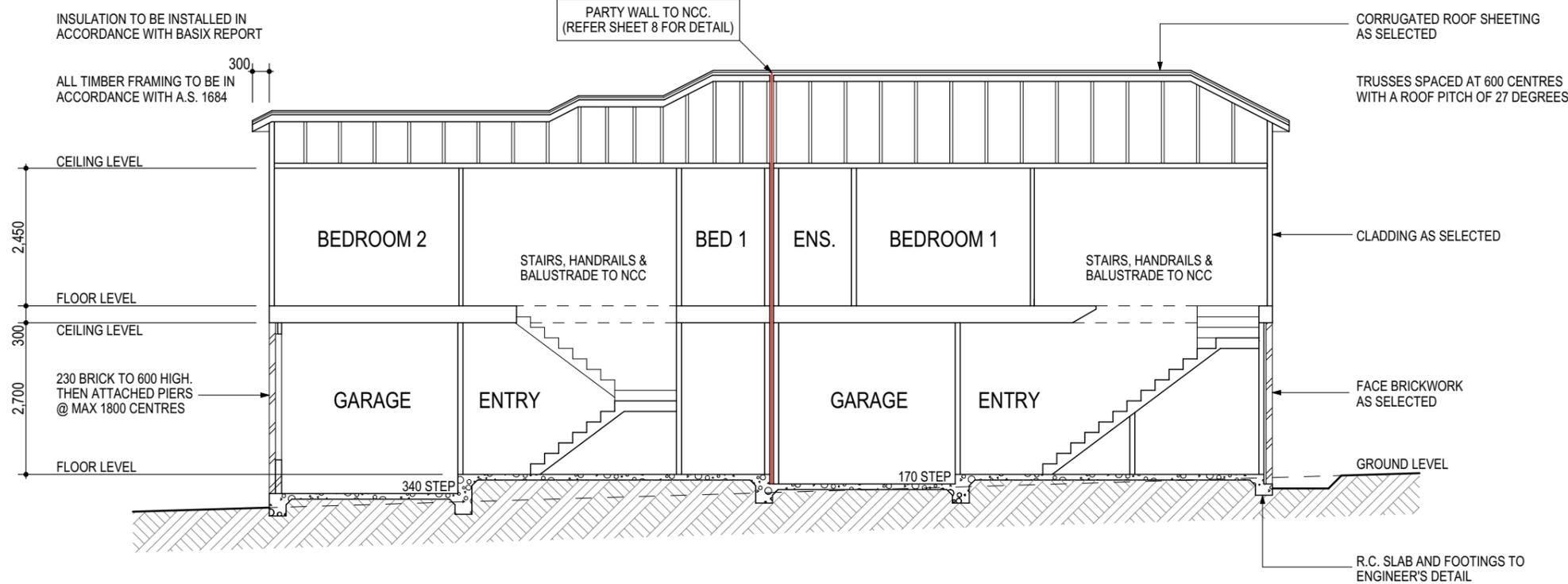
SHEET NO: 4 of 29



**abode**  
DRAFTING  
ABN : 21 003 757 444

P: (02) 46 772 489 E: mail@abodedrafting.com.au

UNIT 2 & 3 WINDOW SCHEDULE



UNIT 2 & 3  
SECTION S/02  
SCALE 1:100 @ A3

Unit 2 & 3 BASIX Notes:

WATER

1. Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
2. 3 star rated showerheads
3. 4 star rated toilets & taps

THERMAL COMFORT

4. Waffle pod slab
5. Minimum R2.5 insulation to external walls(excluding garage)
6. R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
7. R5.0 insulation to ceilings (excludes garage)(units 5 only)
8. R2.5 insulation to walls between house & garage
9. R2.5 insulation to ceiling/floor between house & garage
10. R2.5 insulation to walls between house & roof space
11. R2.0 insulation to floor of first floor where I extends Past lower level(units 3 & 4)
12. R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
13. Sarking to underside of roof
14. Medium wall & dark roof colour
15. Weatherseals to all external doors including internal access to garage

16. Default floor coverings used in NatHERS rating
17. Insulation must be installed in accordance with NCC and relevant Australian Standards.
18. Recessed downlights have been included in the NatHERS rating( to be sealed LED downlights)
19. Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
20. All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
21. Skylights to be single glazed clear

ENERGY

22. Gas instantaneous 6 star HWS
23. Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
24. Ducted rangehood to kitchen with manual on/off switch(sealed)
25. Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
26. Gas cooktop & electric oven
27. Well ventilated fridge space
28. Permanent outdoors clothesline
29. Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
30. Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)



Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
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 2574  
[www.nathers.gov.au](http://www.nathers.gov.au)



WINDOW & DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING

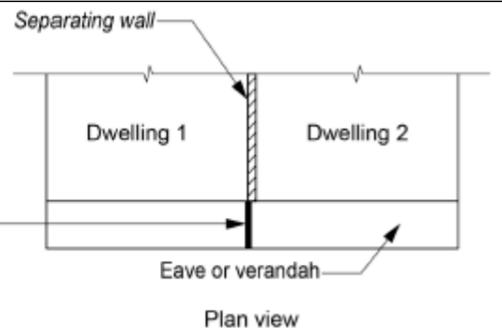
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U2/3 SKYLIGHT 2	C01	700	500			---
U2/3 W01	SW 0606	600	610			2,143
U2/3 W02	SW 1010	1,030	1,090			2,143
U2/3 W03	ST 2132	2,100	3,250			2,143
U2/3 W04	SW 0615	600	1,570			2,143
U2/3 W05	ST 2132	2,100	3,250			2,143
U2/3 W06	SW 1318	1,370	1,810			2,143
U2/3 W07	SW 1014	1,030	1,450			2,143
U2/3 W08	AW 1307	1,370	730			2,143
U2/3 W09	AW 1307	1,370	730			2,143
U2/3 W10	AW 1307	1,370	730			2,143
U2/3 W11	AW 1307	1,370	730			2,143
U2/3 W12	SW 0614	600	1,450			2,340
U2/3 W13	SW 1018	1,030	1,810			2,340
U2/3 W14	SW 1018	1,030	1,810			2,340
U2/3 W15	SW 1018	1,030	1,810			2,340
U2/3 W16	SW 1215	1,200	1,570			2,100
U2/3 W17	SW 0615	600	1,570			2,100
U2/3 W18	SW 1215	1,200	1,570			2,100
U2/3 W19	SW 0624	600	2,410			2,100
U2/3 W20	AW 1207	1,200	730			2,100
U2/3 W21	AW 1207	1,200	730			2,100
U2/3 W22	SW 1215	1,200	1,570			2,100

<p>PROJECT NAME : Medium Density Development</p> <p>DRAWING TITLE : Unit 2 &amp; 3 Section &amp; Window Schedule</p> <p>DRAWN BY : AD      CHECKED BY : GKI</p> <p>LONGITUDE: 150.57880      LATITUDE: -34.29186</p>			<p>CLIENT NAME : Mr Daniel Carpenter</p> <p>SITE DETAILS: No. 73 Radnor Road, Bargo</p> <p>LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m</p> <p>FRONTAGE: 27.43m      LGA: WOLLONDILLY      ZONE: R3</p>			<p>PLOT DATE: 16/05/2019</p> <p>DRAWING NO: 9021</p> <p>SOFTWARE: ArchiCad V 22</p> <p>ISSUE: A</p> <p>SHEET NO: 7 of 29</p>		
14/05/2019	FIRST ISSUE	A	<p>abode DRAFTING ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au</p>					
DATE	REVISION	ISSUE						

**OPTION 2** Non-combustible vertical lining installed in common eaves or verandah space

Elements crossing the non-combustible vertical lining must comply with Clause 3.7.1.8(d)(i)

Note: The non-combustible vertical lining need only be installed on one side of a rafter, truss or supporting framework, provided that it forms a continuous barrier with the separating wall



**EXTRACT OF B.C.A.**

Common eave to be separated by non-combustible vertical lining in accordance with the requirements of Clause 3.7.1.8 and Figure 3.7.1.11 of the BCA.

**USG BORAL**

**PARTIWALL® SYSTEMS**  
FRR 60/60/60 (SYSTEM TYPE PWT60.1)

**PWT60.1**

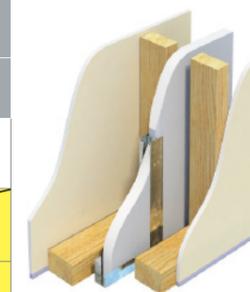
**FIRE RESISTANCE RATING**  
LB 60/60/60  
FROM BOTH SIDES

FRR Basis: FCO-2016, FSV 381

ACOUSTIC RATINGS BASIS: RT&A TE405-05F19

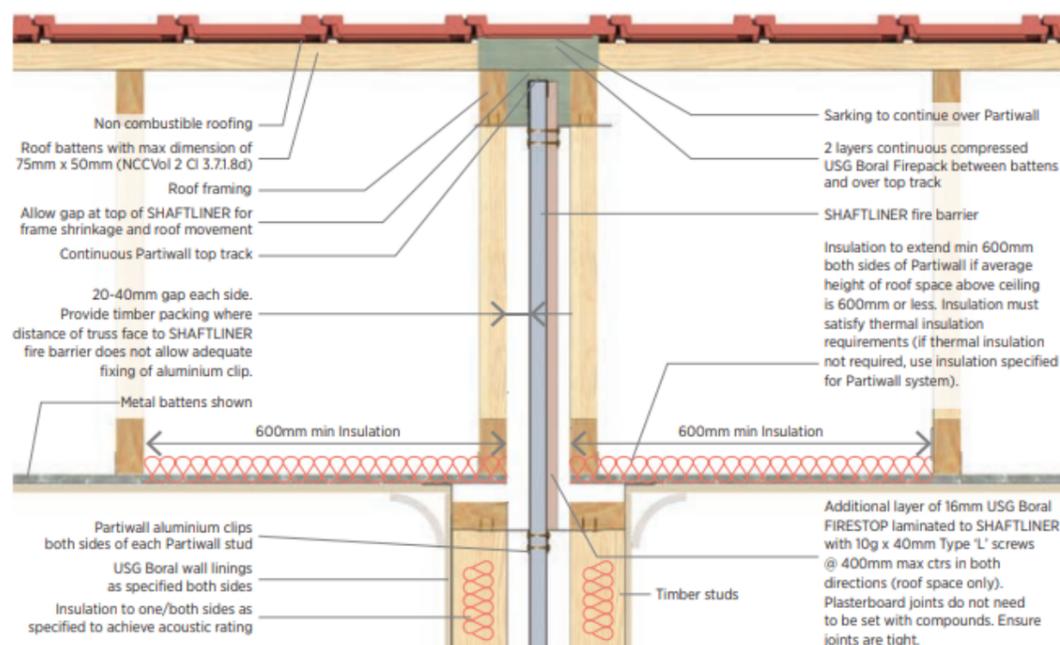
SYSTEM	LINING SIDE 1	LINING SIDE 2	NOM WIDTH mm	STUD SIZE (GAP) mm	70 (20)			90 (20)		
					INSULATION	R <sub>w</sub>	R <sub>w</sub> +C <sub>tr</sub>	STC	R <sub>w</sub>	R <sub>w</sub> +C <sub>tr</sub>
PWT60.1B	1x13mm <sup>1</sup> SOUNDSTOP	1x13mm <sup>1</sup> SOUNDSTOP	231	R2.0 GW Wall Fibreglass Insulation (both cavities)	62	52	60	NA	NA	NA
				R2.0 GW Wall Fibreglass Insulation (both cavities)	NA	NA	NA	64	55	62
				110mm Fibreglass Insulation (one cavity only)	NA	NA	NA	59	51	58

<sup>1</sup> 10 or 13mm Soundstop\* available for larger projects and on indent

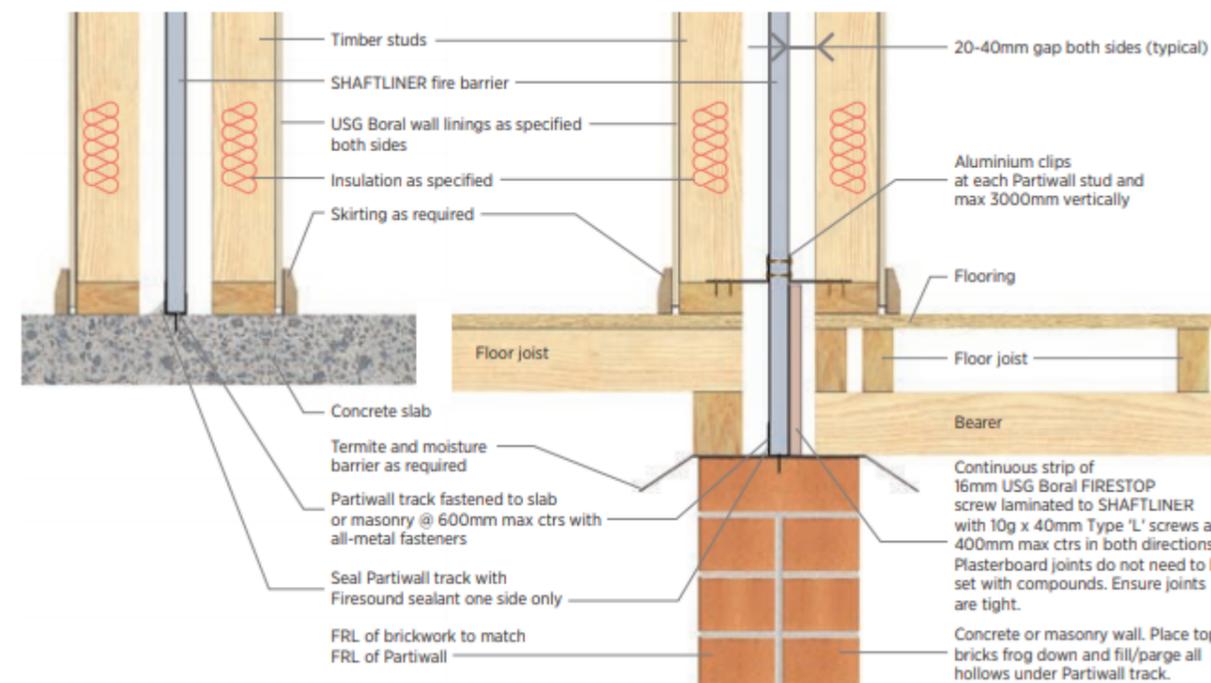


**SYSTEM DESCRIPTION**

- Side 1:**
- Non fire resistant lining (refer to table)
  - Timber framing
  - 20mm min gap between timber frame and fire barrier
  - Insulation (refer to table)
- Fire Barrier:**
- 1x25mm SHAFTLINER™ between 25mm H-studs @ 600mm ctrs
- Side 2:**
- Non fire resistant lining (refer to table)
  - Timber framing
  - 20mm min gap between timber frame and fire barrier
  - Insulation (refer to table).



**WALL/ROOF JUNCTION (BORAL PARTIWALL®)**

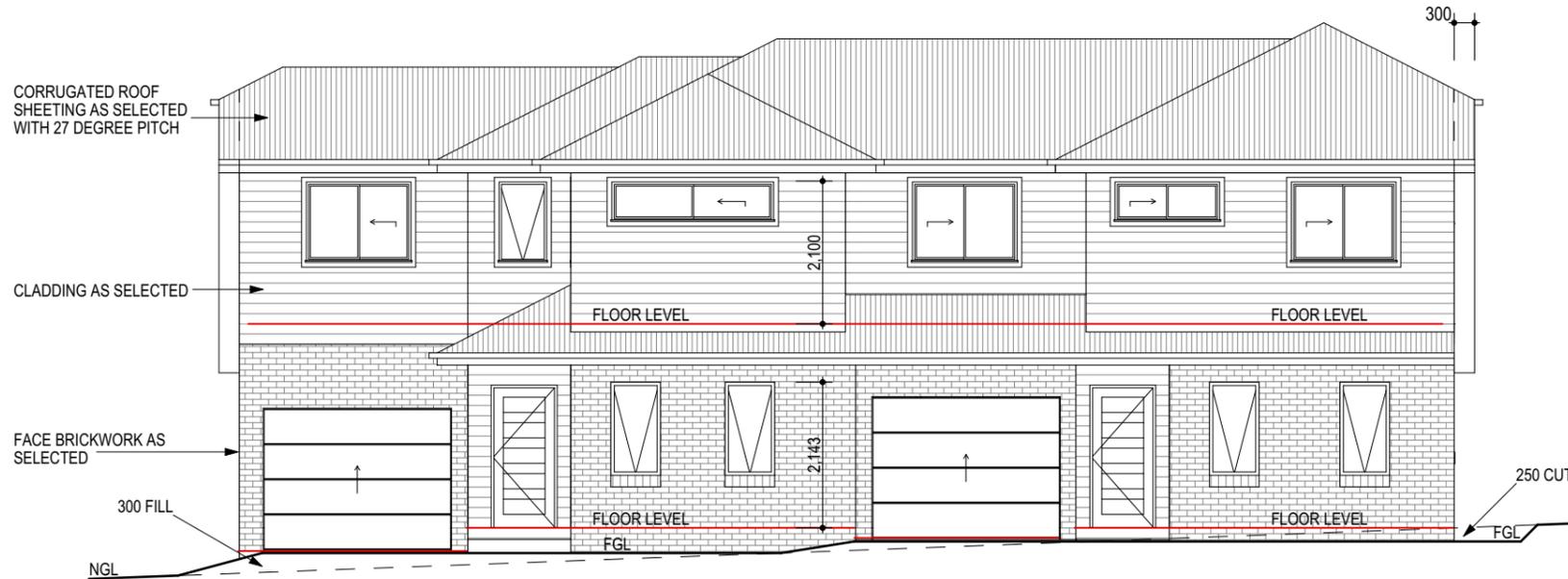


**WALL/FLOOR JUNCTION (BORAL PARTIWALL®)**

**5.3**  
NATIONWIDE HOUSE ENERGY RATING SCHEME  
105.0 MJ/m<sup>2</sup>  
www.nathers.gov.au

Certificate no.: 0003879046  
Assessor Name: Scott Douglass  
Accreditation no.: 13/1547  
Certificate date: 22 May 2019  
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
www.nathers.gov.au

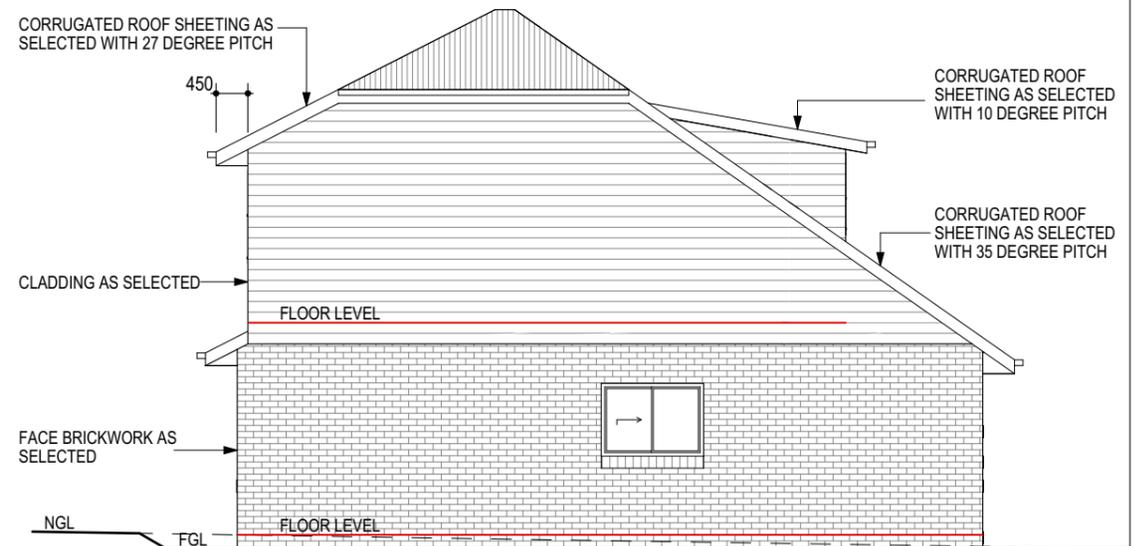
14/05/2019	FIRST ISSUE	A	PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 P: (02) 46 772 489 E: mail@abodedrafting.com.au
DATE	REVISION	ISSUE	DRAWING TITLE : Party Wall Detail	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD      CHECKED BY : GKI	LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
			LONGITUDE: 150.57880    LATITUDE: -34.29186	FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3	ISSUE: A	
					SHEET NO: 8 of 29	



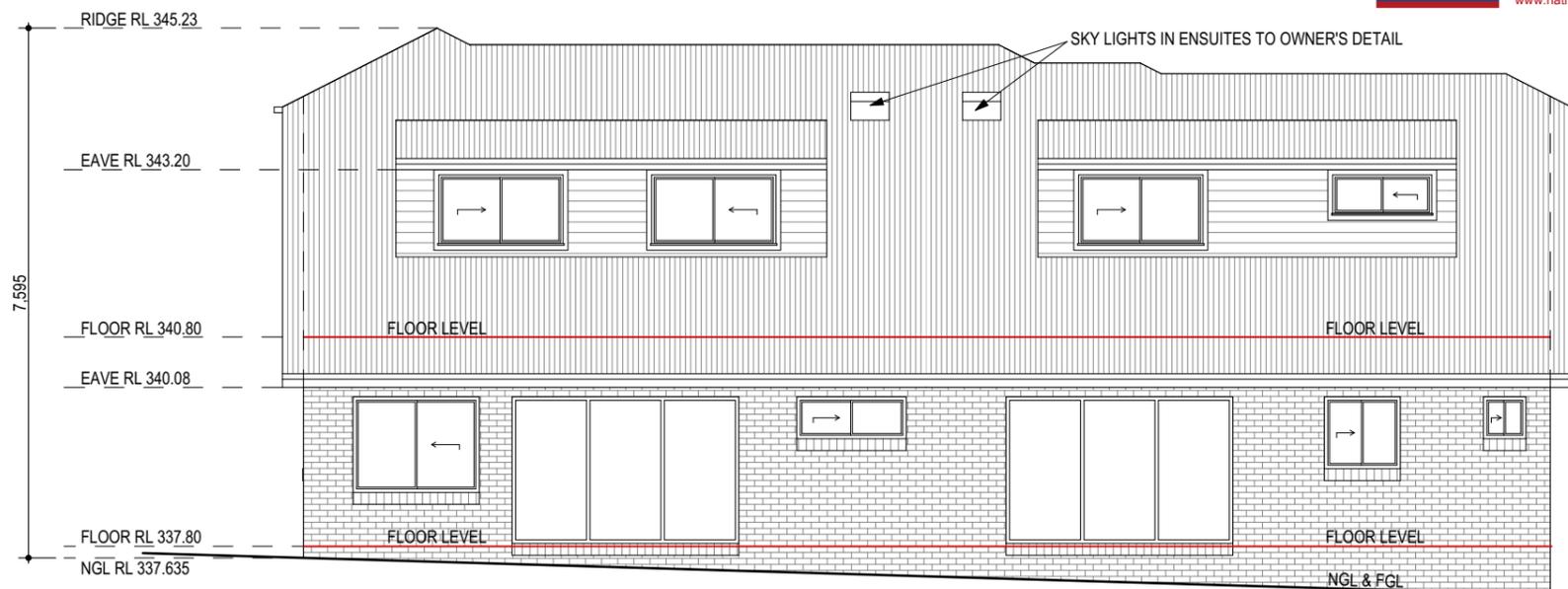
**UNIT 2 & 3  
SOUTHERN ELEVATION**  
SCALE 1:100 @ A3



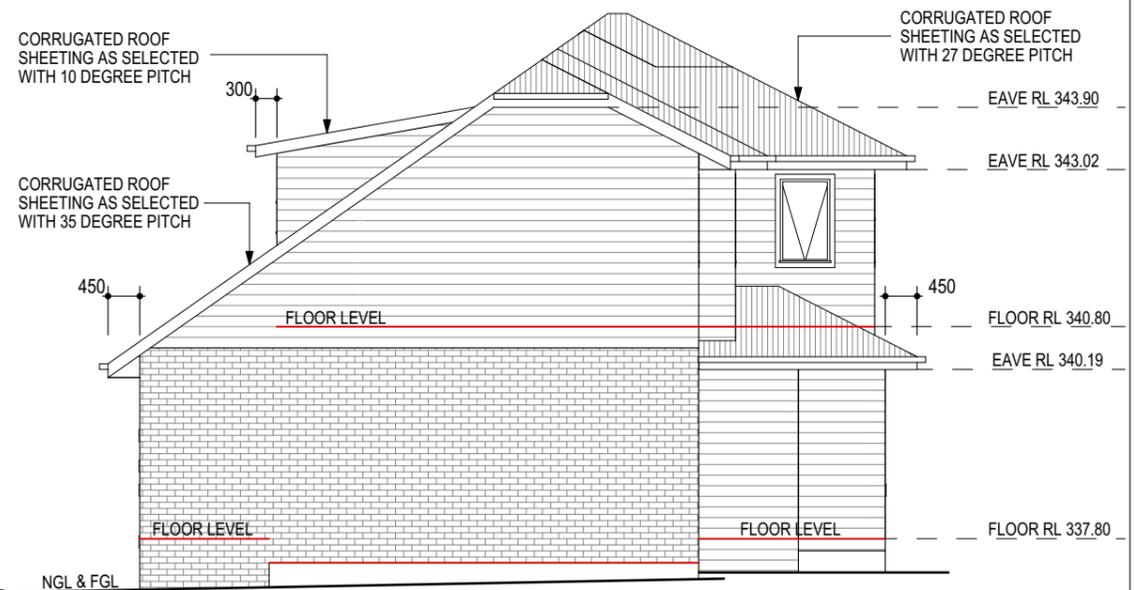
Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 www.nathers.gov.au



**UNIT 2 & 3  
WESTERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 2 & 3  
NORTHERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 2 & 3  
EASTERN ELEVATION**  
SCALE 1:100 @ A3

14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
Medium Density Development

DRAWING TITLE :  
Unit 2 & 3 Elevations

DRAWN BY : AD      CHECKED BY : GKI  
 LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
Mr Daniel Carpenter

SITE DETAILS:  
No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m  
 FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019

DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

SHEET NO: 9 of 29

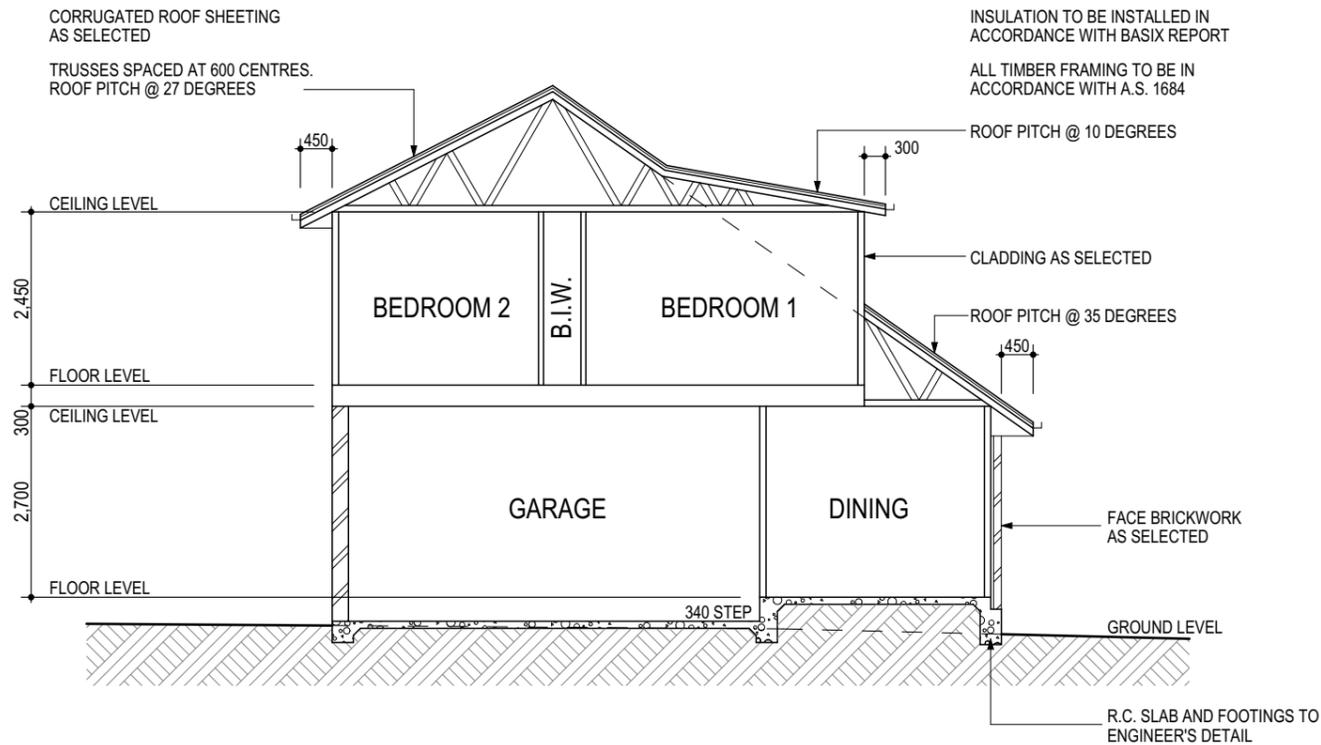


**abode**  
DRAFTING  
ABN : 21 003 757 444

P: (02) 46 772 489 E: mail@abodedrafting.com.au

Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574  
 www.nathers.gov.au





**UNIT 4**  
**SECTION S/03**  
 SCALE 1:100 @ A3

**Unit 4 BASIX Notes:**

- WATER**
- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
  - 3 star rated showerheads
  - 4 star rated toilets & taps
- THERMAL COMFORT**
- Waffle pod slab
  - Minimum R2.5 insulation to external walls(excluding garage)
  - R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
  - R5.0 insulation to ceilings (excludes garage)(units 5 only)
  - R2.5 insulation to walls between house & garage
  - R2.5 insulation to ceiling/floor between house & garage
  - R2.5 insulation to walls between house & roof space
  - R2.0 insulation to floor of first floor where I extends Past lower level(units 3 & 4)
  - R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
  - Sarking to underside of roof
  - Medium wall & dark roof colour
  - Weatherseals to all external doors including internal access to garage
  - Default floor coverings used in NatHERS rating
  - Insulation must be installed in accordance with NCC and relevant Australian Standards.
  - Recessed downlights have been included in the NatHERS rating( to be sealed LED downlights)
  - Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
  - All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
  - Skylights to be single glazed clear
- ENERGY**
- Gas instantaneous 6 star HWS
  - Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
  - Ducted rangehood to kitchen with manual on/off switch(sealed)
  - Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
  - Gas cooktop & electric oven
  - Well ventilated fridge space
  - Permanent outdoors clothesline
  - Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
  - Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

**UNIT 4 WINDOW SCHEDULE**

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U4 SKYLIGHT 1	C01	700	500			---
U4 W01	AW 1307	1,370	730			2,143
U4 W02	AW 1307	1,370	730			2,143
U4 W03	SW 0613	600	1,370			2,143
U4 W04	SW 1326	1,370	2,650			2,143
U4 W05	SD 2124	2,100	2,410			2,143
U4 W06	SW 1014	1,030	1,450			2,143
U4 W07	SW 1215	1,200	1,570			2,100
U4 W08	SW 0615	600	1,570			2,100
U4 W09	SW 1215	1,200	1,570			2,100
U4 W10	SW 1018	1,030	1,810			2,340
U4 W11	SW 1018	1,030	1,810			2,340

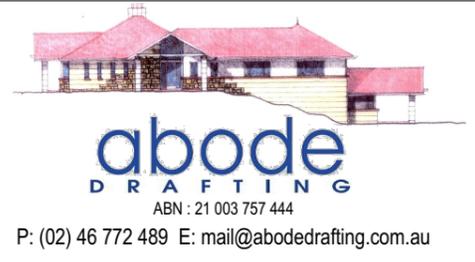
**WINDOW & DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING**

14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
**Medium Density Development**  
 DRAWING TITLE :  
**Unit 4 Section & Window Schedule**  
 DRAWN BY : AD      CHECKED BY : GKI  
 LONGITUDE: 150.57880    LATITUDE: -34.29186

CLIENT NAME :  
**Mr Daniel Carpenter**  
 SITE DETAILS:  
**No. 73 Radnor Road, Bargo**  
 LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m  
 FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

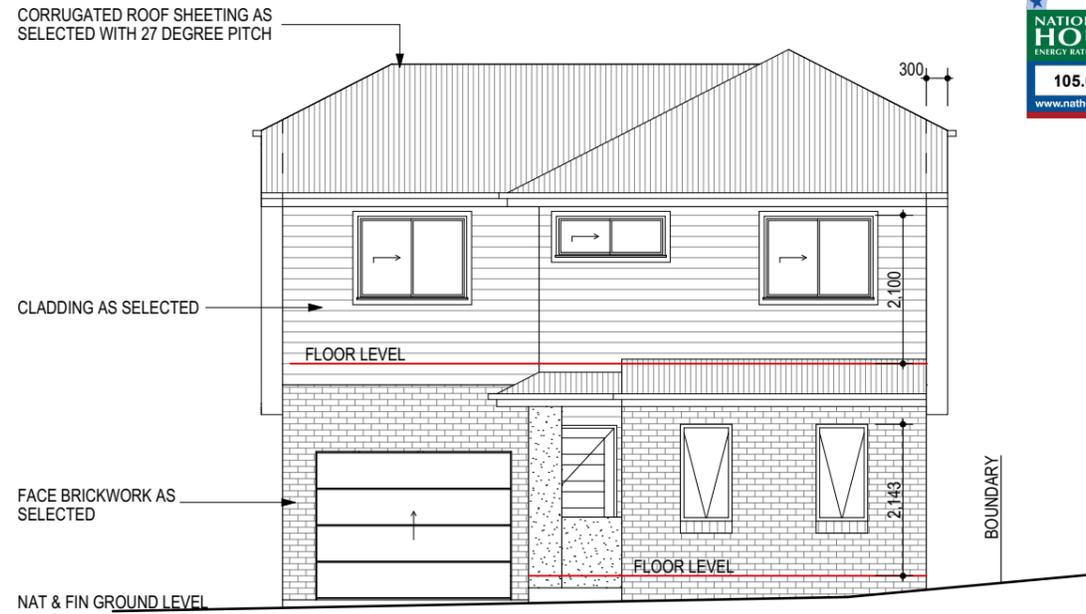
PLOT DATE: 16/05/2019  
 DRAWING NO: 9021  
 SOFTWARE: ArchiCad V 22  
 ISSUE: **A**  
 SHEET NO: 11 of 29



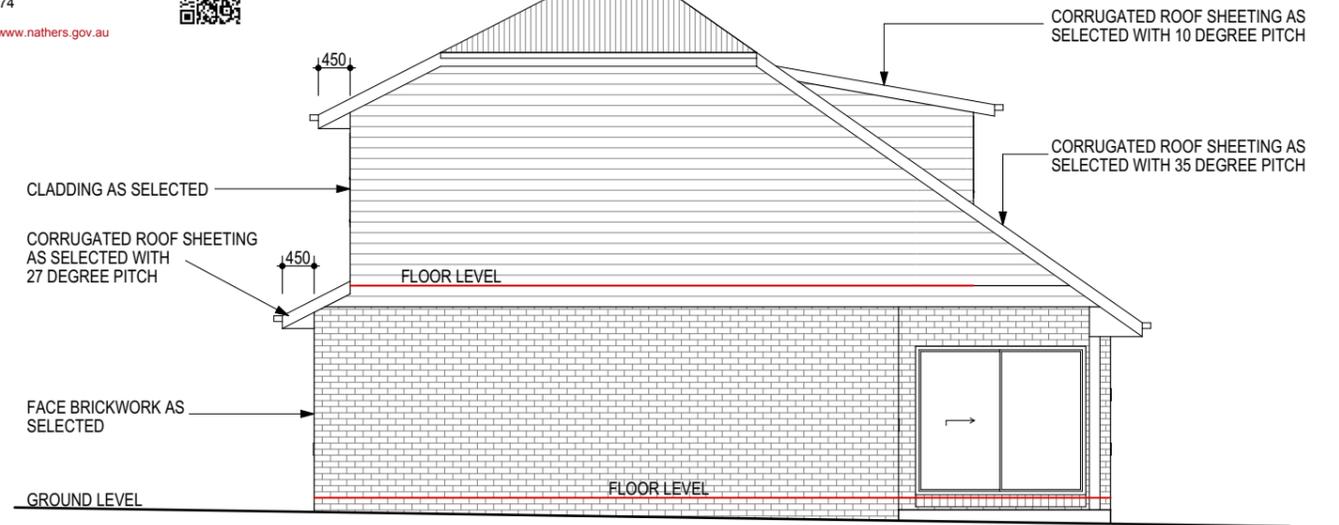
P: (02) 46 772 489 E: mail@abodedrafting.com.au



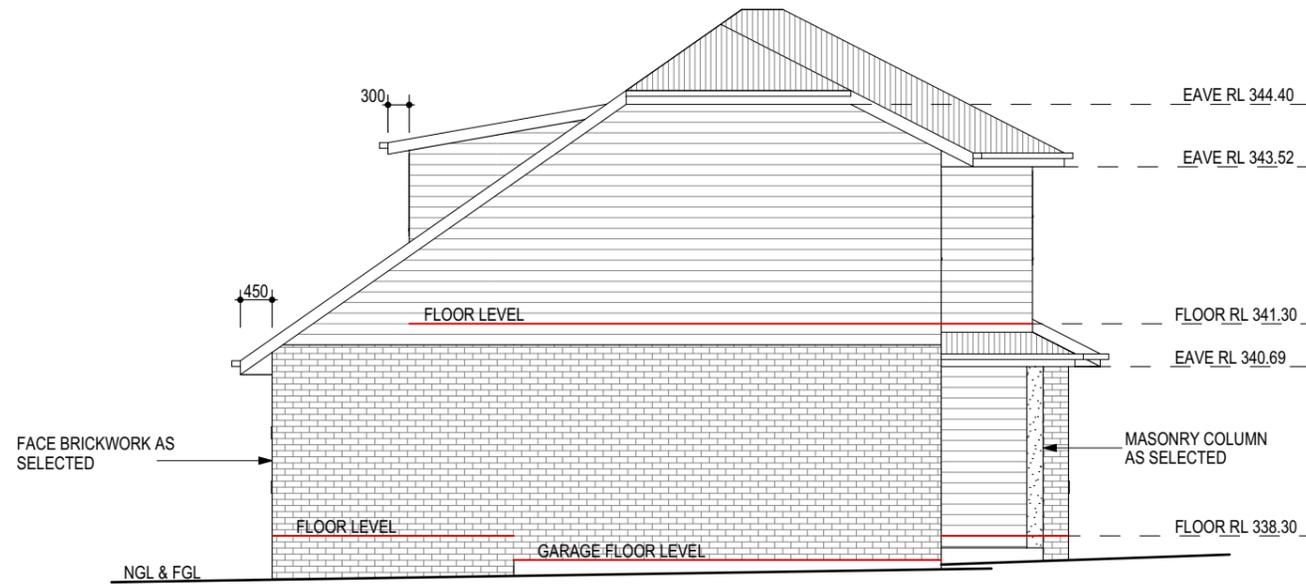
Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
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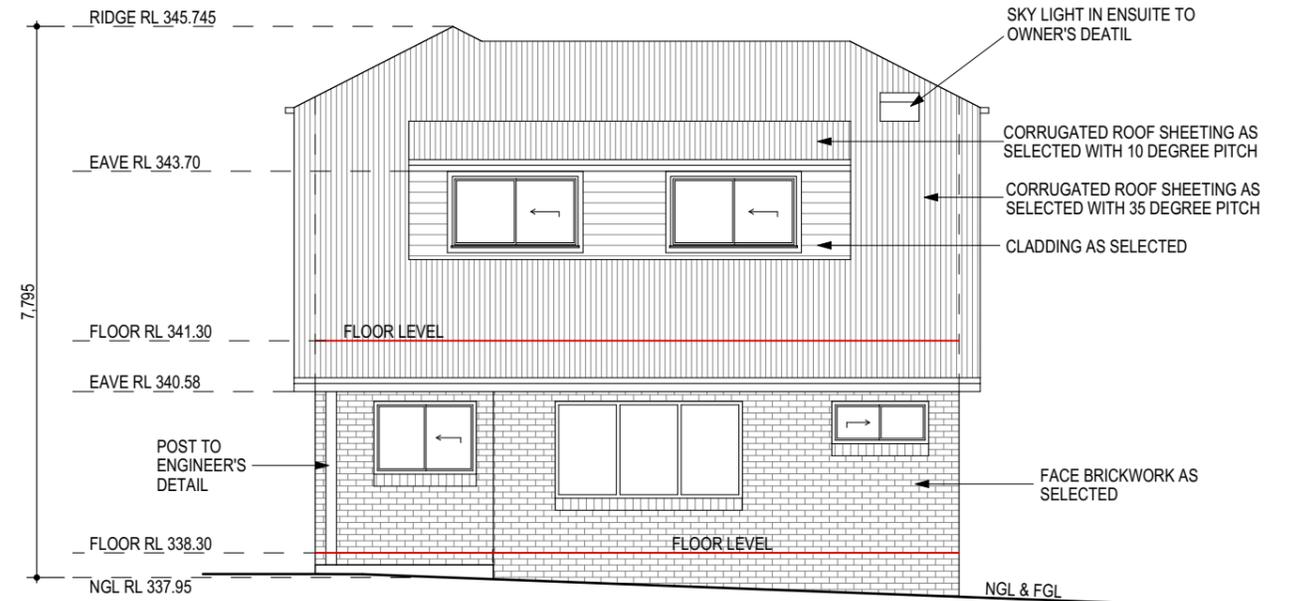
UNIT 4  
 SOUTHERN ELEVATION  
 SCALE 1:100 @ A3



UNIT 4  
 EASTERN ELEVATION  
 SCALE 1:100 @ A3



UNIT 4  
 WESTERN ELEVATION  
 SCALE 1:100 @ A3



UNIT 4  
 NORTHERN ELEVATION  
 SCALE 1:100 @ A3

14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
 Medium Density Development

DRAWING TITLE :  
 Unit 4 Elevations

DRAWN BY : AD      CHECKED BY : GKI  
 LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
 Mr Daniel Carpenter

SITE DETAILS:  
 No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m  
 FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019

DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

SHEET NO: 12 of 29

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 ABN : 21 003 757 444  
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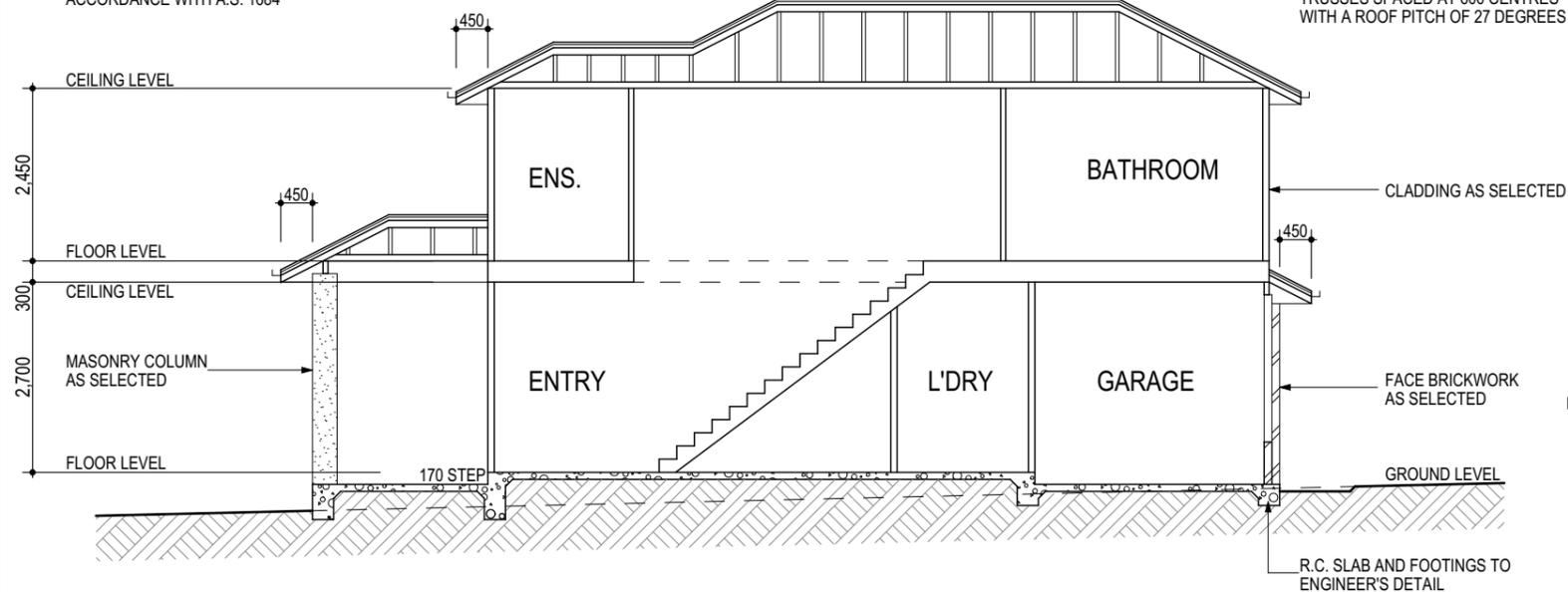


Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574  
 www.nathers.gov.au



INSULATION TO BE INSTALLED IN ACCORDANCE WITH BASIX REPORT

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH A.S. 1684



UNIT 5  
 SECTION S/04  
 SCALE 1:100 @ A3

**Unit 5 BASIX Notes:**

**WATER**

- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
- 3 star rated showerheads
- 4 star rated toilets & taps

**THERMAL COMFORT**

- Waffle pod slab
- Minimum R2.5 insulation to external walls(excluding garage)
- R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3,4 & 6)
- R5.0 insulation to ceilings (excludes garage)(units 5 only)
- R2.5 insulation to walls between house & garage
- R2.5 insulation to ceiling/floor between house & garage
- R2.5 insulation to walls between house & roof space
- R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
- R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
- Sarking to underside of roof
- Medium wall & dark roof colour
- Weatherseals to all external doors including internal access to garage
- Default floor coverings used in NatHERS rating
- Insulation must be installed in accordance with NCC and relevant Australian Standards.
- Recessed downlights have been included in the NatHERS rating( to be sealed LED downlights)
- Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
- All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
- Skylights to be single glazed clear

**ENERGY**

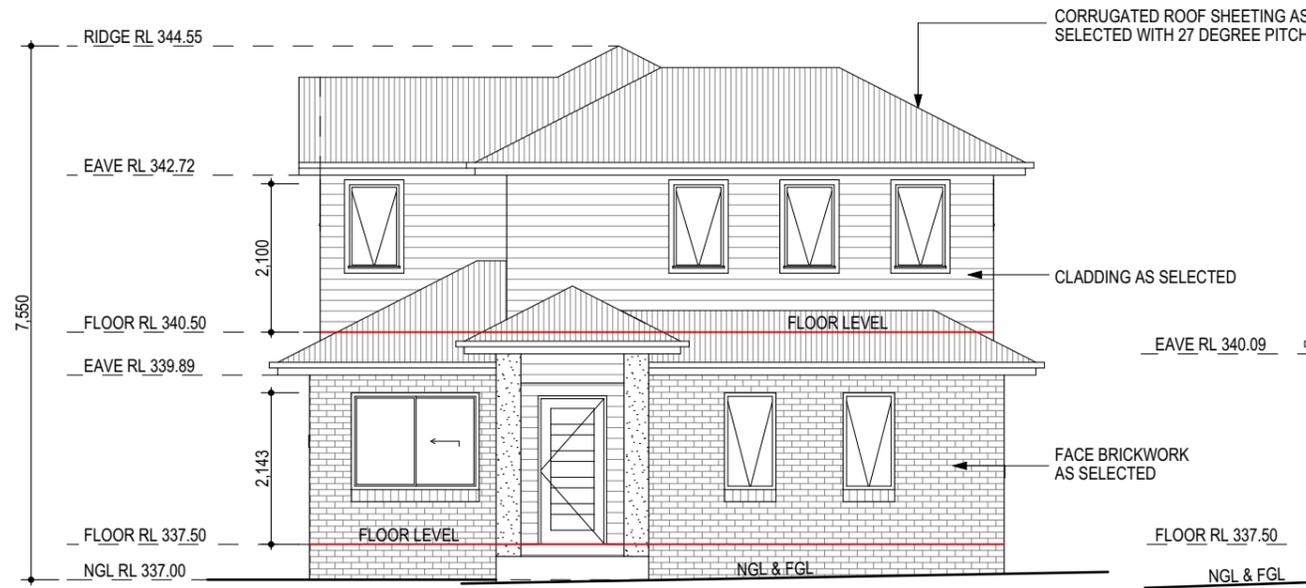
- Gas instantaneous 6 star HWS
- Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
- Ducted rangehood to kitchen with manual on/off switch(sealed)
- Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
- Gas cooktop & electric oven
- Well ventilated fridge space
- Permanent outdoors clothesline
- Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
- Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

**UNIT 5 WINDOW SCHEDULE**

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U5 W01	AW 1307	1,370	730			2,143
U5 W02	AW 1307	1,370	730			2,143
U5 W03	SW 1318	1,370	1,810			2,143
U5 W04	SW 0618	600	1,810			2,143
U5 W05	SW 0618	600	1,810			2,143
U5 W06	SW 0610	600	1,090			2,143
U5 W07	SD 2118	2,100	1,810			2,143
U5 W08	SW 1014	1,030	1,450			2,143
U5 W09	SW 1018	1,030	1,810			2,143
U5 W10	AW 1207	1,200	730			2,100
U5 W11	AW 1207	1,200	730			2,100
U5 W12	AW 1207	1,200	730			2,100
U5 W13	AW 1207	1,200	730			2,100
U5 W14	SW 0618	600	1,810			2,100
U5 W15	SW 0618	600	1,810			2,100
U5 W16	SW 1021	1,030	2,140			2,100
U5 W17	SW 0621	600	2,140			2,100
U5 W18	SW 0621	600	2,140			2,100

WINDOW & DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING

			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 P: (02) 46 772 489 E: mail@abodedrafting.com.au	
			DRAWING TITLE : Unit 5 Section & Window Schedule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021		
			DRAWN BY: AD      CHECKED BY: GKI	LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22		
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880    LATITUDE: -34.29186	FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3	ISSUE: A		
DATE	REVISION	ISSUE				SHEET NO: 15 of 29	

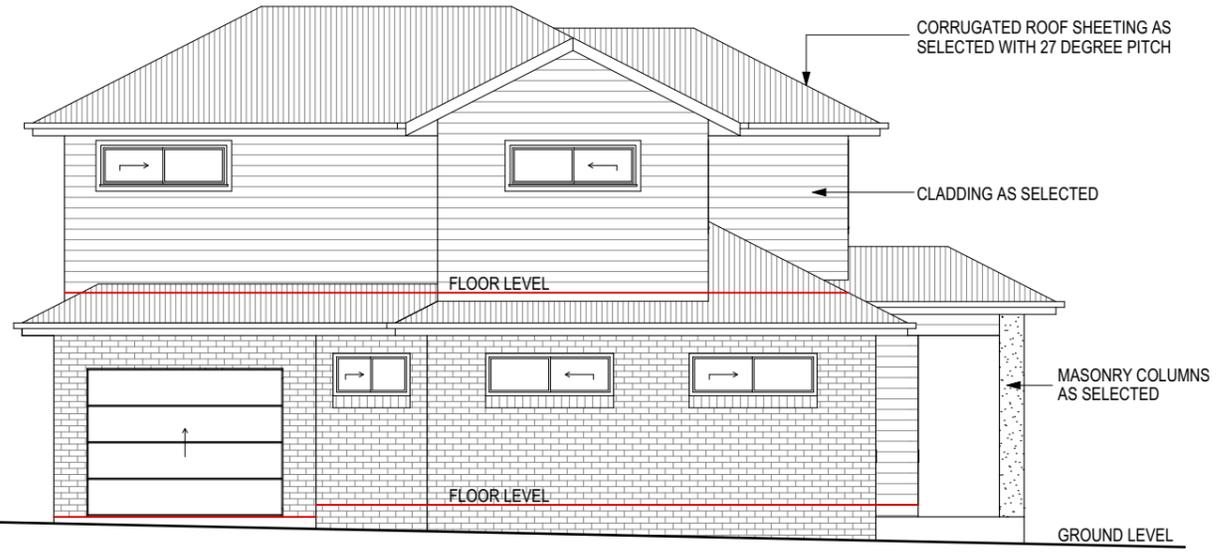


**UNIT 5  
WESTERN ELEVATION**  
SCALE 1:100 @ A3

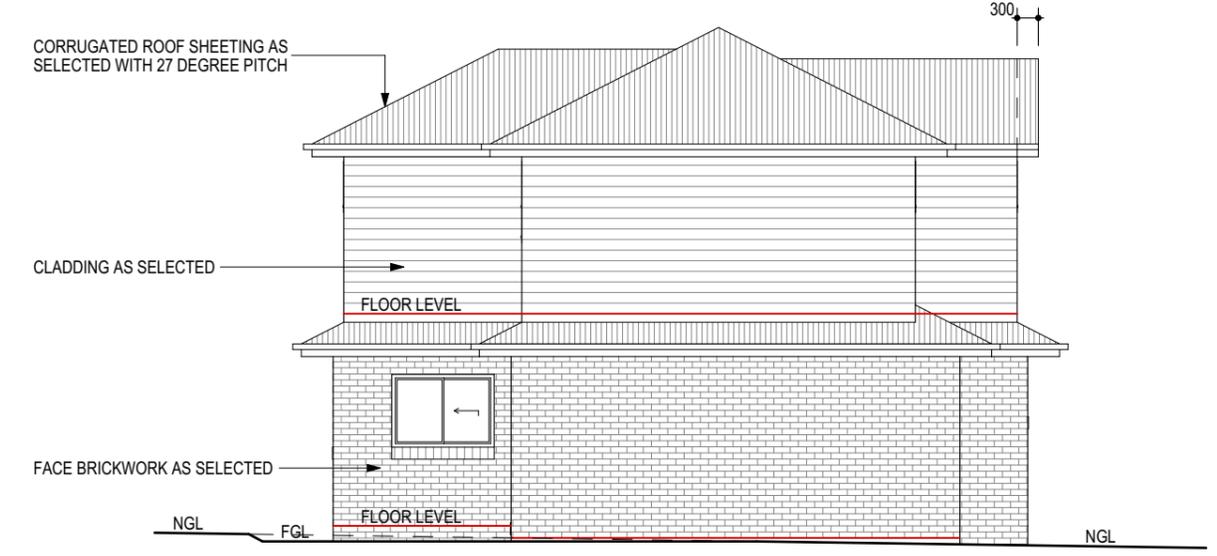
Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
[www.nathers.gov.au](http://www.nathers.gov.au)



**UNIT 5  
SOUTHERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 5  
NORTHERN ELEVATION**  
SCALE 1:100 @ A3

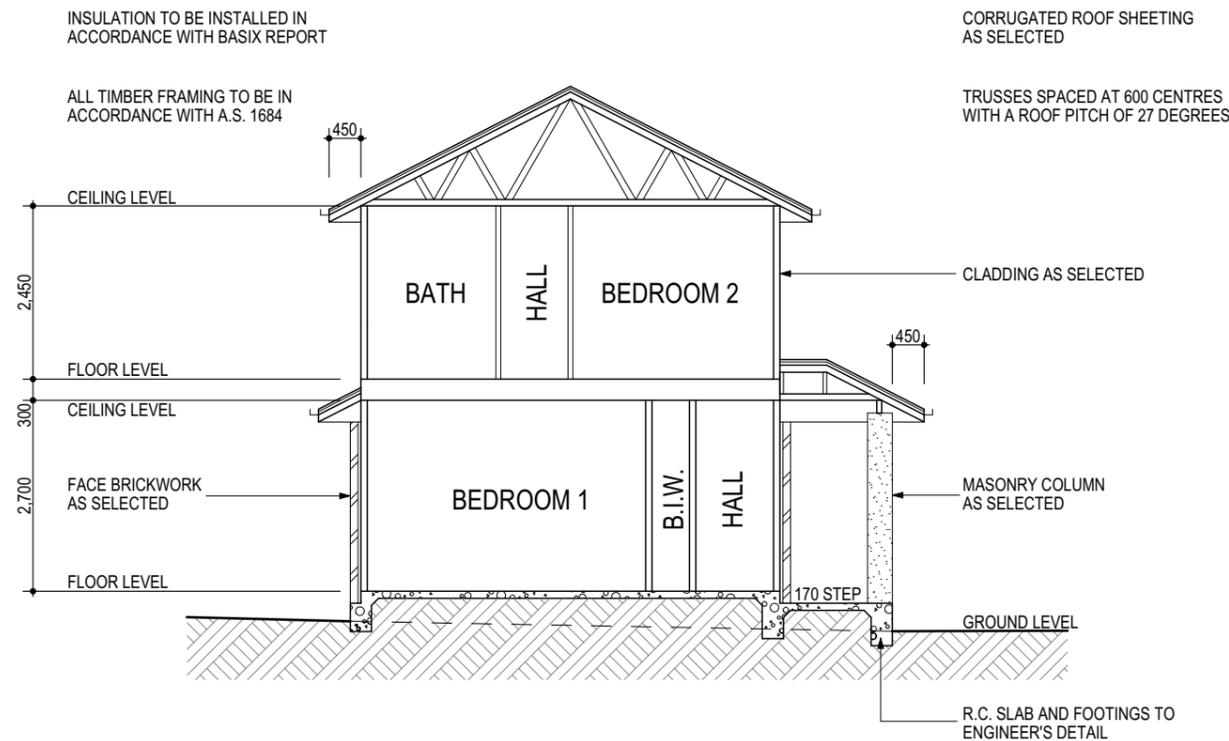


**UNIT 5  
EASTERN ELEVATION**  
SCALE 1:100 @ A3

			PROJECT NAME : <b>Medium Density Development</b>	CLIENT NAME : <b>Mr Daniel Carpenter</b>	PLOT DATE: 16/05/2019 DRAWING NO: 9021		
			DRAWING TITLE : <b>Unit 5 Elevations</b>	SITE DETAILS: <b>No. 73 Radnor Road, Bargo</b>	SOFTWARE: ArchiCad V 22 ISSUE: <b>A</b>		
14/05/2019	FIRST ISSUE	A	DRAWN BY: AD      CHECKED BY: GKI LONGITUDE: 150.57880      LATITUDE: -34.29186	LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m FRONTAGE: 27.43m      LGA: WOLLONDILLY      ZONE: R3	SHEET NO: 16 of 29		
DATE	REVISION	ISSUE					



Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574  
 www.nathers.gov.au



**UNIT 6**  
**SECTION S/05**  
 SCALE 1:100 @ A3

**Unit 6 BASIX Notes:**

**WATER**

- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
- 3 star rated showerheads
- 4 star rated toilets & taps

**THERMAL COMFORT**

- Waffle pod slab
- Minimum R2.5 insulation to external walls(excluding garage)
- R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
- R5.0 insulation to ceilings (excludes garage)(units 5 only)
- R2.5 insulation to walls between house & garage
- R2.5 insulation to ceiling/floor between house & garage
- R2.5 insulation to walls between house & roof space
- R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
- R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
- Sarking to underside of roof
- Medium wall & dark roof colour
- Weatherseals to all external doors including internal access to garage
- Default floor coverings used in NatHERS rating
- Insulation must be installed in accordance with NCC and relevant Australian Standards.
- Recessed downlights have been included in the NatHERS rating( to be sealed LED downlights)
- Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
- All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
- Skylights to be single glazed clear

**ENERGY**

- Gas instantaneous 6 star HWS
- Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
- Ducted rangehood to kitchen with manual on/off switch(sealed)
- Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
- Gas cooktop & electric oven
- Well ventilated fridge space
- Permanent outdoors clothesline
- Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
- Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

**UNIT 6 WINDOW SCHEDULE**

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U5 W16	SW 1021	1,030	2,140			2,100
U5 W17	SW 0621	600	2,140			2,100
U5 W18	SW 0621	600	2,140			2,100
U6 W01	AW 1307	1,370	730			2,143
U6 W02	SW 0424	450	2,410			2,143
U6 W03	SW 0424	450	2,410			2,143
U6 W04	ST 2132	2,100	3,250			2,143
U6 W05	SW 1015	1,030	1,570			2,143
U6 W06	SW 1012	1,030	1,200			2,143
U6 W07	SW 1318	1,370	1,810			2,143
U6 W08	SW 0618	600	1,810			2,483
U6 W09	SW 1215	1,200	1,570			2,100
U6 W10	SW 1215	1,200	1,570			2,100
U6 W11	SW 0615	600	1,570			2,100
U6 W12	SW 0626	600	2,650			2,100

WINDOW & DOOR SIZES TO BE CONFIRMED BY BUILDER PRIOR TO ORDERING

14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
 Medium Density Development

DRAWING TITLE :  
 Unit 6 Section & Window Schedule

DRAWN BY: AD      CHECKED BY: GKI  
 LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
 Mr Daniel Carpenter

SITE DETAILS:  
 No. 73 Radnor Road, Bargo

LOT NO: 21      SECT: -      D P NO: 13127      SITE AREA: 1379 sq m  
 FRONTAGE: 27.43m      LGA: WOLLONDILLY      ZONE: R3

PLOT DATE: 16/05/2019

DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

SHEET NO: 19 of 29

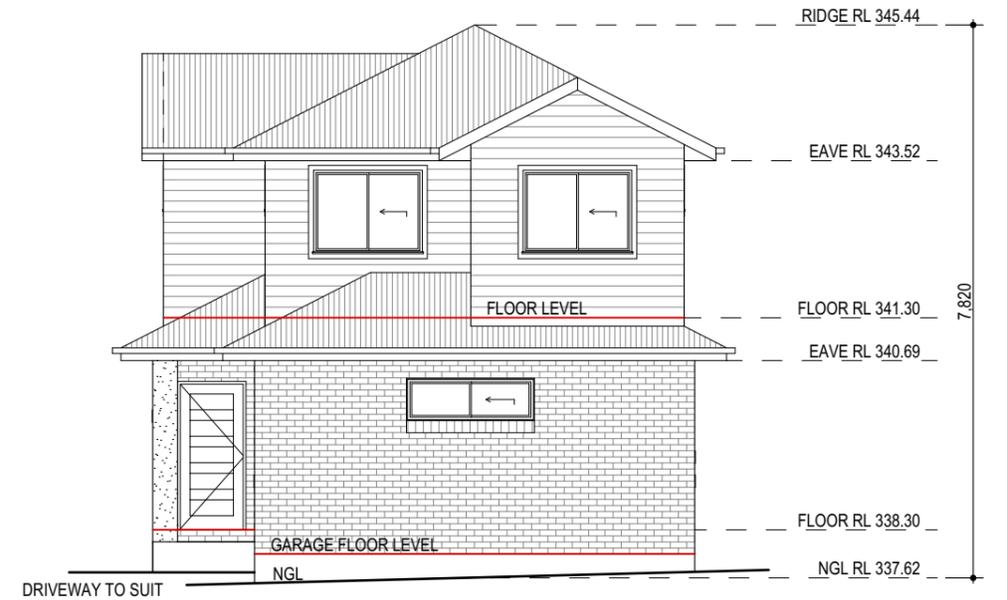
**abode**  
 DRAFTING  
 ABN : 21 003 757 444  
 P: (02) 46 772 489 E: mail@abodedrafting.com.au



**UNIT 6**  
**NORTHERN ELEVATION**  
SCALE 1:100 @ A3

Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574

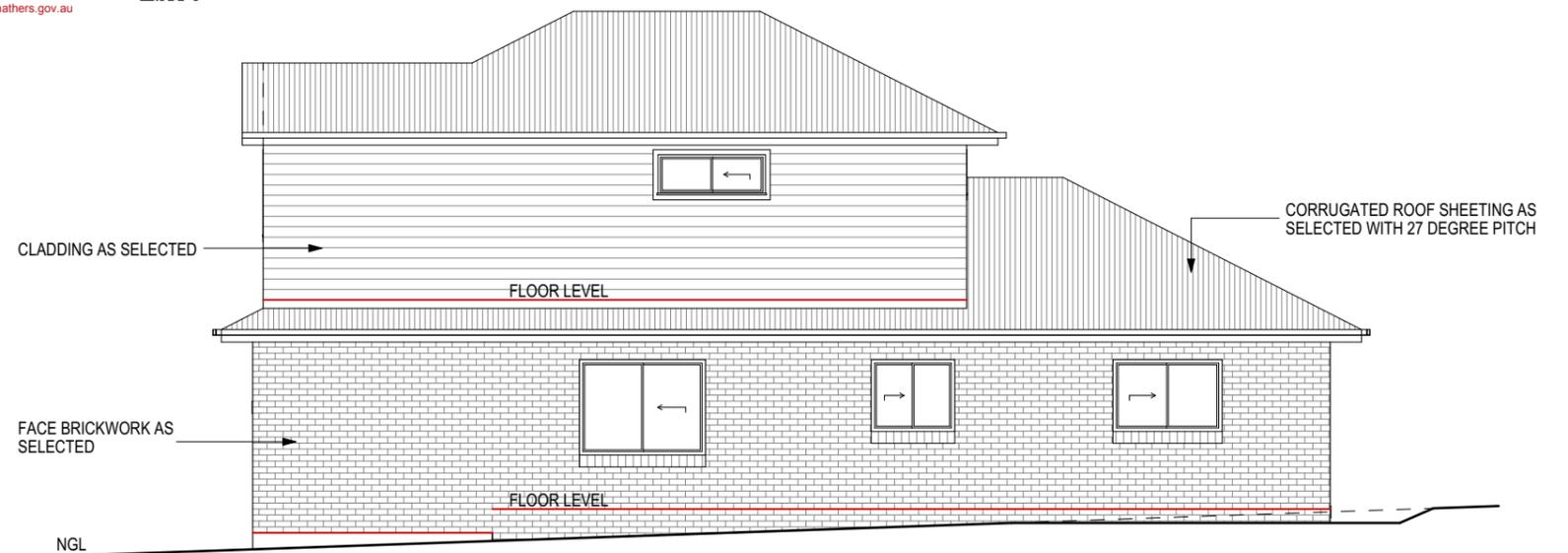
**5.3**  
**NATIONWIDE HOUSE**  
 ENERGY RATING SCHEME  
**105.0 MJ/m<sup>2</sup>**  
[www.nathers.gov.au](http://www.nathers.gov.au)



**UNIT 6**  
**WESTERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 6**  
**EASTERN ELEVATION**  
SCALE 1:100 @ A3



**UNIT 6**  
**SOUTHERN ELEVATION**  
SCALE 1:100 @ A3

			PROJECT NAME : <b>Medium Density Development</b>	CLIENT NAME : <b>Mr Daniel Carpenter</b>	PLOT DATE: 16/05/2019 DRAWING NO: 9021	<p> <b>abode</b>          DRAFTING          ABN : 21 003 757 444          P: (02) 46 772 489 E: mail@abodedrafting.com.au       </p>
			DRAWING TITLE : <b>Unit 6 Elevations</b>	SITE DETAILS: <b>No. 73 Radnor Road, Bargo</b>	SOFTWARE: ArchiCad V 22 ISSUE: <b>A</b>	
14/05/2019	FIRST ISSUE	A	DRAWN BY: AD      CHECKED BY: GKI LONGITUDE: 150.57880      LATITUDE: -34.29186	LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m FRONTAGE: 27.43m      LGA: WOLLONDILLY      ZONE: R3	SHEET NO: 20 of 29	
DATE	REVISION	ISSUE				

STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH ENGINEERING PLANS PREPARED BY D & M CONSULTING

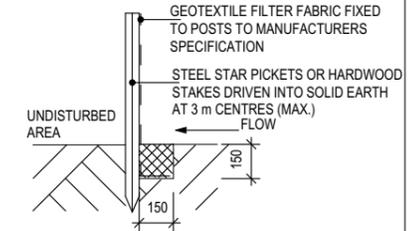


Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 www.nathers.gov.au



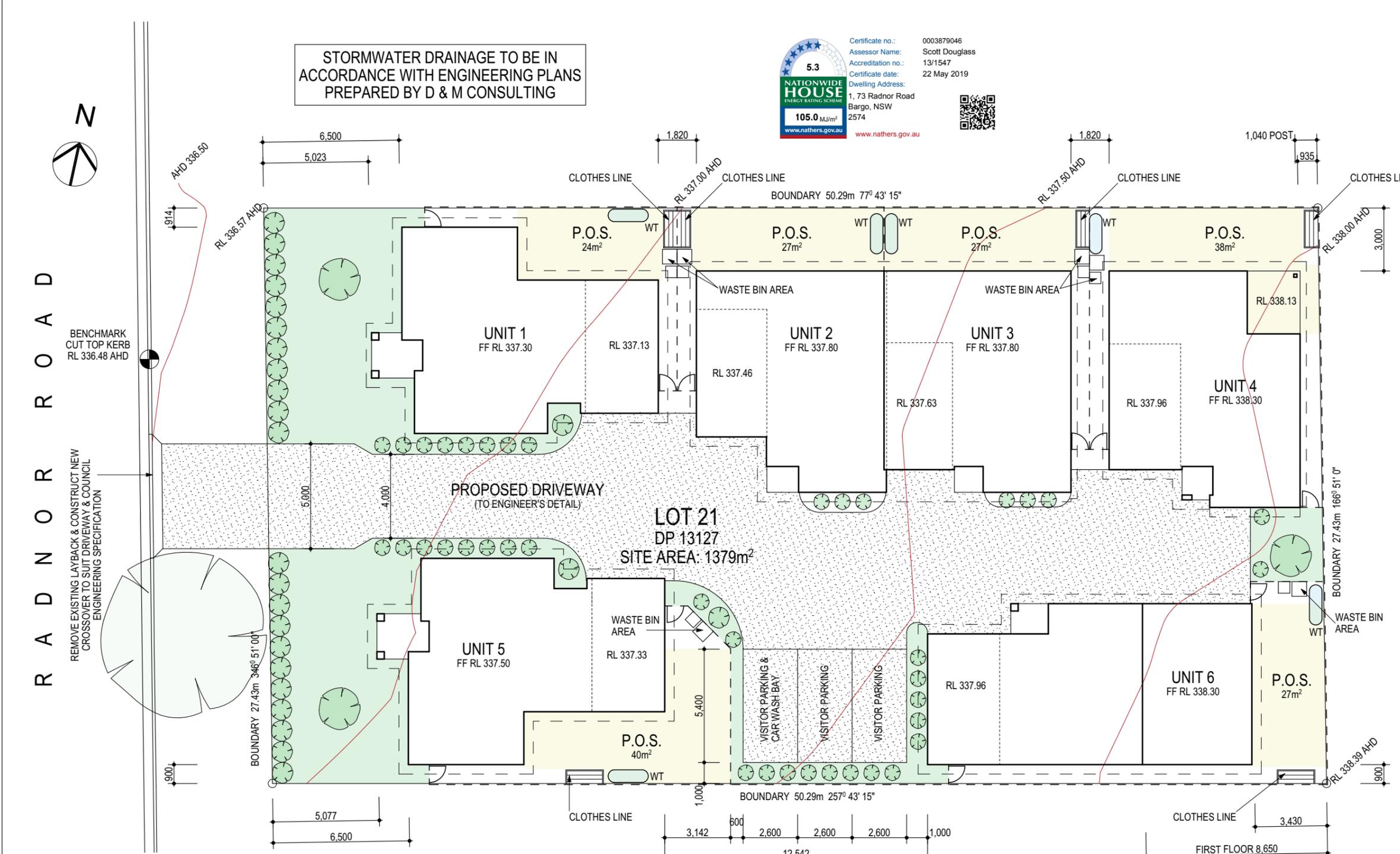
**SITE PLAN NOTES**

1. Levels are approx only and should be verified on site prior to construction.
2. All services are to be located by builder prior to commencement of work.
3. Sydney Water approval required prior to commencement of work.
4. Connect all down pipes to existing stormwater system.



1. SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY EXCAVATION WORK AND IS TO BE REMOVED ONLY WHEN THE SITE SURFACE HAS BEEN STABILIZED, IE PAVED, LANDSCAPED OR TURFED.
2. CRUSHED ROCK AGGREGATE (40mm) IS TO BE PLACED AS AN ACCESS DRIVEWAY TO THE SITE AND MUST BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION

**SOIL EROSION AND SEDIMENTATION CONTROL**



**COUNCIL CONTROLS MEDIUM DENSITY DEVELOPMENT**

ITEM	ALLOWABLE	ACTUAL
SITE COVER (TOTAL PAVED AREA)	MAX 75%	64% (887m <sup>2</sup> )
MAX FILL	1.0m	0.30m
MAX CUT	2.0m	0.25m
LANDSCAPE AREA	MIN 10%	15% (208m <sup>2</sup> )

PROPOSED LANDSCAPE AREAS TO BE PROVIDED WITH AUTOMATIC WATERING SYSTEM

**PROPOSED SITE PLAN (LANDSCAPE & DRAINAGE PLAN) SCALE 1:200 @ A3**

LEGEND	SYMBOL
FENCE	--- ---
CONTOUR LINES	— — — —
STORMWATER	— — — —
SEDIMENT FENCE	— — — —
SEWER MAIN	— — — —
BENCHMARK	⊙
SEWER MANHOLE	⊙ SMH
STORMWATER PIT	□ SP
WATERTANK	⊙ WT
HYDRANT	⊙ H
POWER POLE	⊙ PP
PROPOSED TREE/SHRUB	⊙
EXISTING TREE	⊙
TREE TO BE REMOVED	⊙
PRIVATE OPEN SPACE	□
PROPOSED LANDSCAPE AREA	□

DATE	REVISION	ISSUE
14/05/2019	FIRST ISSUE	A

PROJECT NAME : Medium Density Development  
 DRAWING TITLE : Proposed Site Plan  
 DRAWN BY : AD CHECKED BY : GKI  
 LONGITUDE: 150.57880 LATITUDE: -34.29186

CLIENT NAME : Mr Daniel Carpenter  
 SITE DETAILS: No. 73 Radnor Road, Bargo  
 LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m  
 FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3

PLOT DATE: 16/05/2019  
 DRAWING NO: 9021  
 SOFTWARE: ArchiCad V 22  
 ISSUE: A  
 SHEET NO: 21 of 29

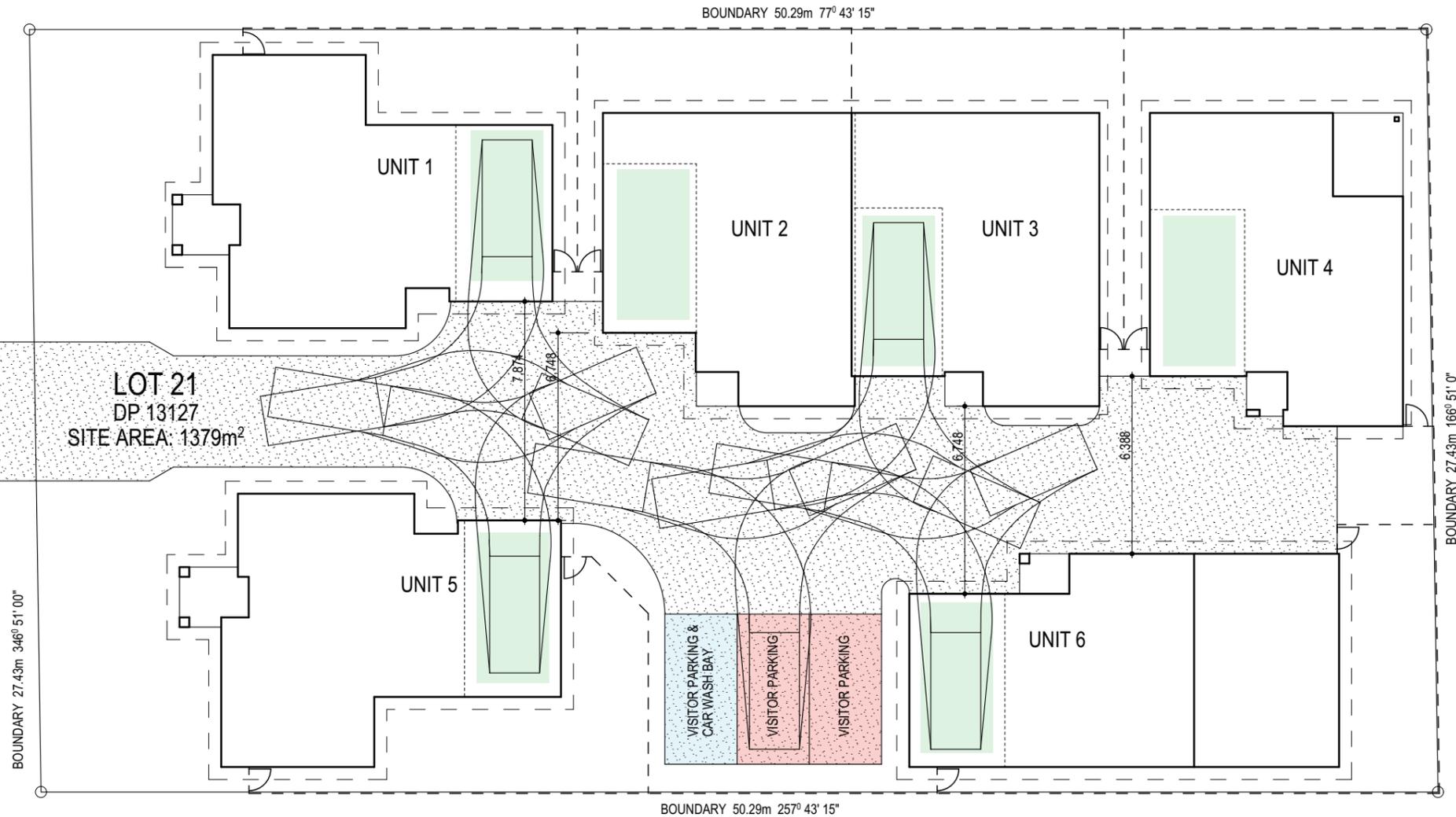
abode DRAFTING  
 ABN : 21 003 757 444  
 P: (02) 46 772 489 E: mail@abodedrafting.com.au



RADNOR ROAD

REMOVE EXISTING LAYBACK & CONSTRUCT NEW CROSSOVER TO SUIT DRIVEWAY & COUNCIL ENGINEERING SPECIFICATION

DRIVEWAY APRON & GARAGE OPENING WIDTHS DESIGNED TO BE IN ACCORDANCE WITH AS2890.1 - 2004 CLAUSE 5.4



ALL GARAGE OPENING WIDTHS TO BE 2770mm



Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 www.nathers.gov.au



## PROPOSED CARPARKING PLAN

SCALE 1:200 @ A3

LEGEND	SYMBOL
UNIT PARKING	<span style="display: inline-block; width: 20px; height: 10px; background-color: #d9ead3; border: 1px solid black;"></span>
VISITOR PARKING	<span style="display: inline-block; width: 20px; height: 10px; background-color: #f4cccc; border: 1px solid black;"></span>
VISITOR PARKING / WASH BAY	<span style="display: inline-block; width: 20px; height: 10px; background-color: #cfe2f3; border: 1px solid black;"></span>

DATE	REVISION	ISSUE
14/05/2019	FIRST ISSUE	A

PROJECT NAME : Medium Density Development
DRAWING TITLE : Proposed Carparking 1/2
DRAWN BY : AD      CHECKED BY : GKI
LONGITUDE: 150.57880    LATITUDE: -34.29186

CLIENT NAME : Mr Daniel Carpenter
SITE DETAILS: No. 73 Radnor Road, Bargo
LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m
FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019
DRAWING NO: 9021
SOFTWARE: ArchiCad V 22
ISSUE: A
SHEET NO: 22 of 29

ISSUE: A
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abode  
DRAFTING

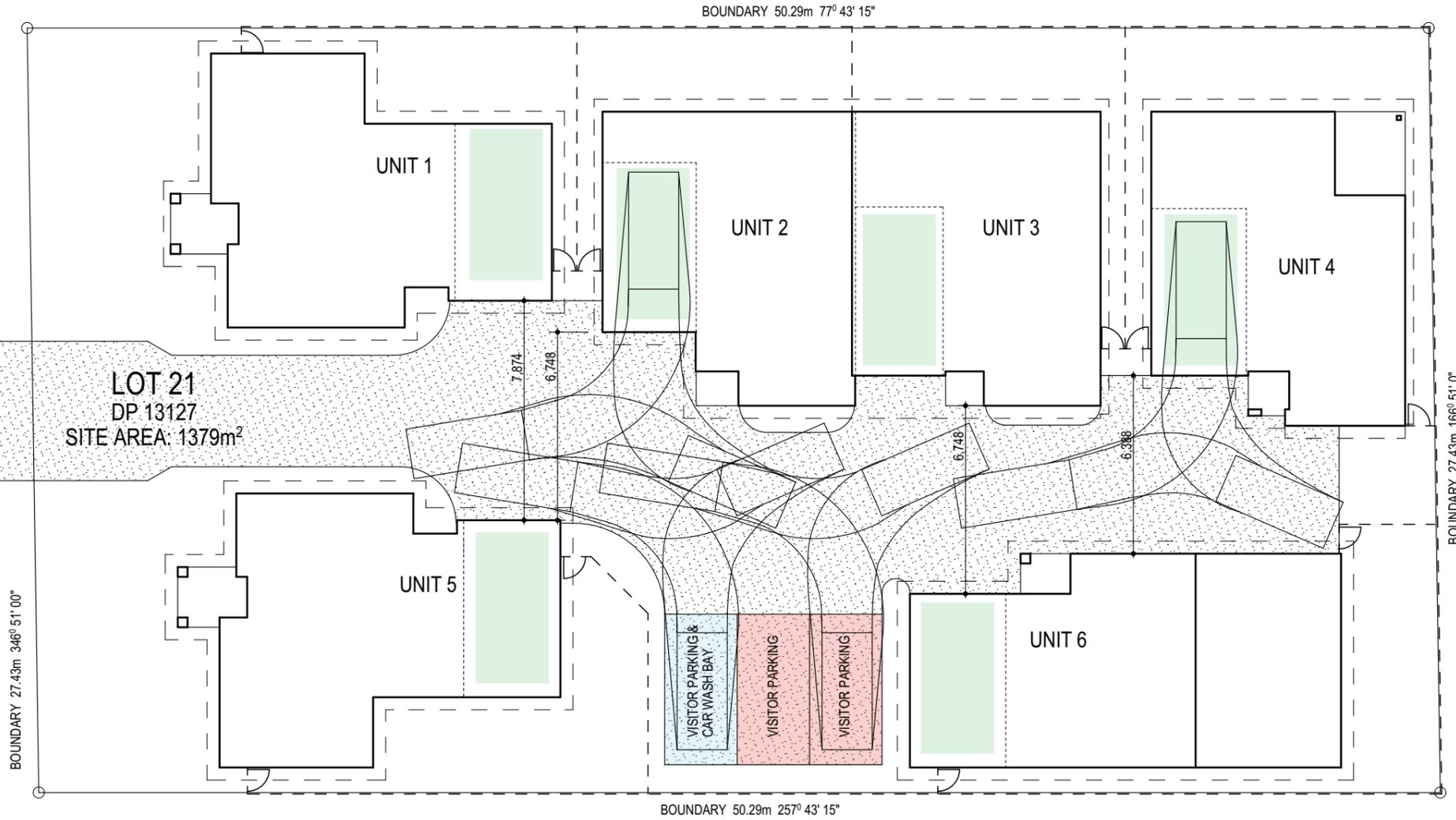
ABN : 21 003 757 444  
 P: (02) 46 772 489 E: mail@abodedrafting.com.au



RADNOR ROAD

REMOVE EXISTING LAYBACK & CONSTRUCT NEW CROSSOVER TO SUIT DRIVEWAY & COUNCIL ENGINEERING SPECIFICATION

DRIVEWAY APRON & GARAGE OPENING WIDTHS DESIGNED TO BE IN ACCORDANCE WITH AS2890.1 - 2004 CLAUSE 5.4



ALL GARAGE OPENING WIDTHS TO BE 2770mm

LOT 21  
DP 13127  
SITE AREA: 1379m<sup>2</sup>

Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 www.nathers.gov.au



PROPOSED CARPARKING PLAN  
SCALE 1:200 @ A3

LEGEND	SYMBOL
UNIT PARKING	
VISITOR PARKING	
VISITOR PARKING / WASH BAY	

DATE	REVISION	ISSUE
14/05/2019	FIRST ISSUE	A

PROJECT NAME :  
Medium Density Development

DRAWING TITLE :  
Proposed Carparking 2/2

DRAWN BY : AD      CHECKED BY : GKI

LONGITUDE: 150.57880    LATITUDE: -34.29186

CLIENT NAME :  
Mr Daniel Carpenter

SITE DETAILS:  
No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m

FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019

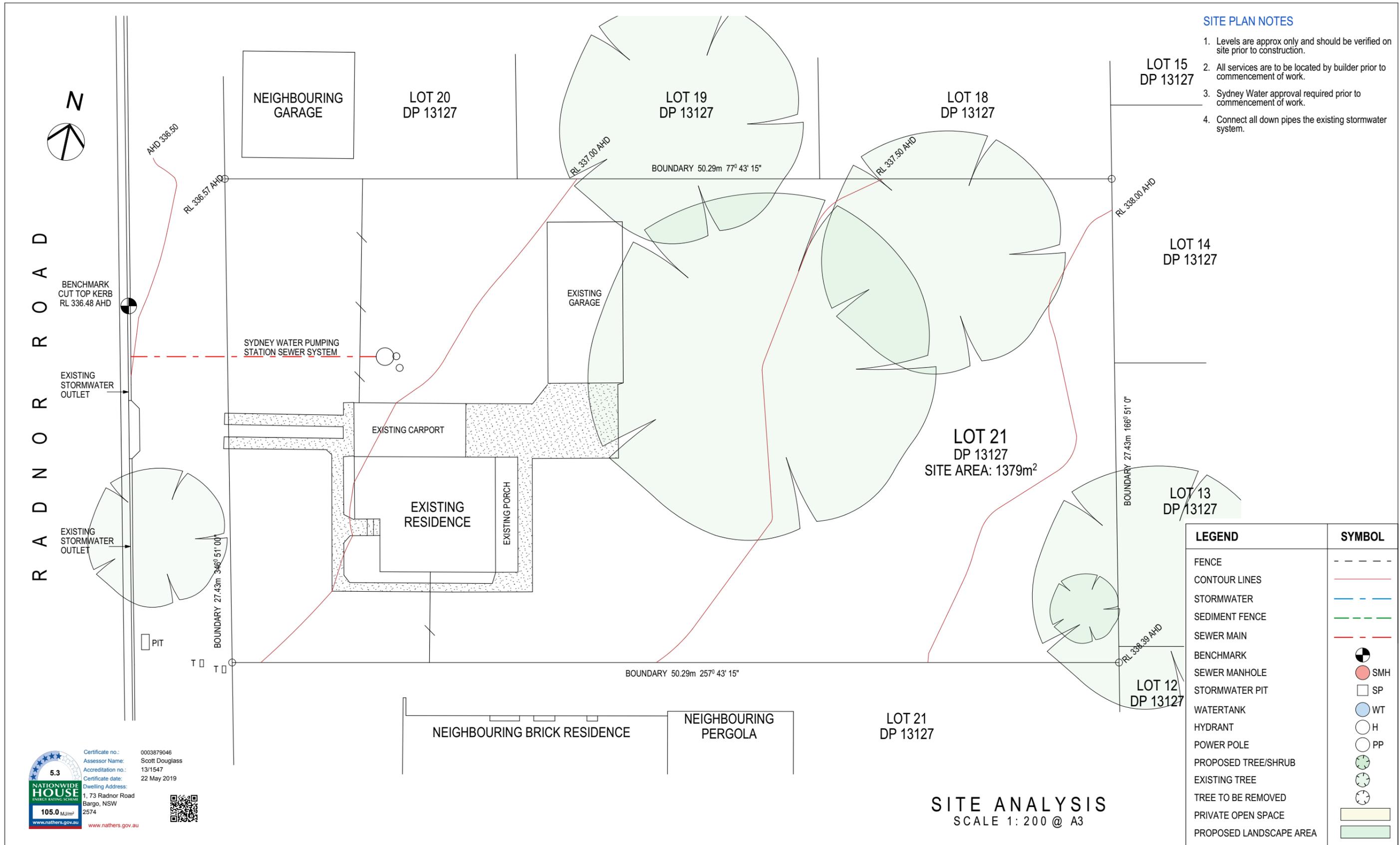
DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

SHEET NO: 23 of 29

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 DRAFTING  
 ABN : 21 003 757 444  
 P: (02) 46 772 489 E: mail@abodedrafting.com.au



Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 105.0 MJ/m²  
 www.nathers.gov.au

PROJECT NAME : <b>Medium Density Development</b>			CLIENT NAME : <b>Mr Daniel Carpenter</b>			PLOT DATE: 16/05/2019		
DRAWING TITLE : <b>Existing Site Analysis</b>			SITE DETAILS: <b>No. 73 Radnor Road, Bargo</b>			DRAWING NO: 9021		
DRAWN BY: AD      CHECKED BY: GKI			LOT NO: 21    SECT: -    D P NO: 13127      SITE AREA: 1379 sq m			SOFTWARE: ArchiCad V 22		
LONGITUDE: 150.57880    LATITUDE: -34.29186			FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3			ISSUE: <b>A</b>		
DATE      REVISION      ISSUE			SHEET NO: 24 of 29			SHEET NO: 24 of 29		

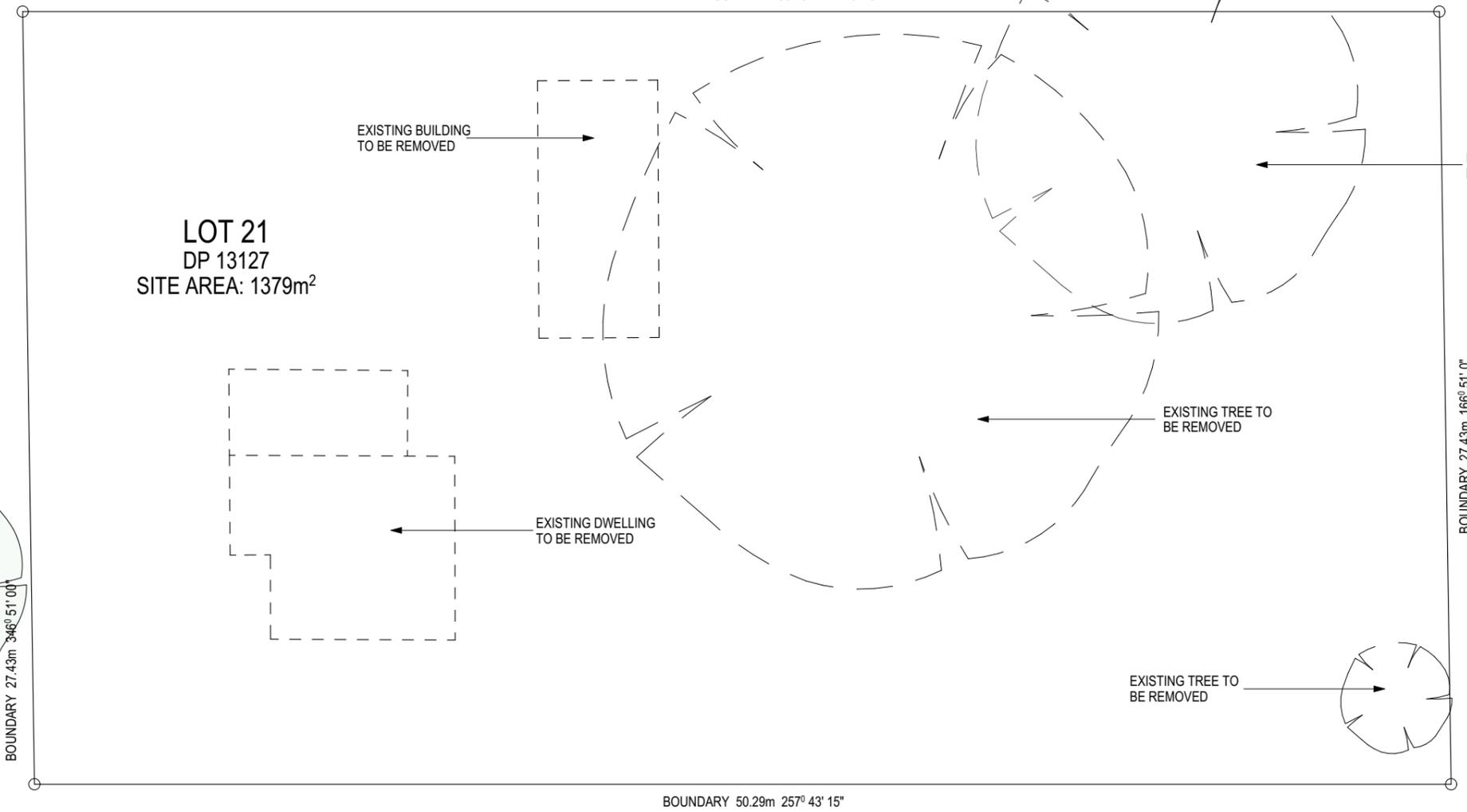
abode  
 DRAFTING  
 ABN : 21 003 757 444  
 P: (02) 46 772 489 E: mail@abodedrafting.com.au



R A D N O R R O A D



Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address:  
 1, 73 Radnor Road  
 Bargo, NSW  
 2574  
 www.nathers.gov.au



**SITE PLAN NOTES**

1. Levels are approx only and should be verified on site prior to construction.
2. All services are to be located by builder prior to commencement of work.
3. Sydney Water approval required prior to commencement of work.
4. Connect all down pipes to existing stormwater system.



LEGEND	SYMBOL
FENCE	---
CONTOUR LINES	—
STORMWATER	---
SEDIMENT FENCE	---
SEWER MAIN	---
BENCHMARK	⊗
SEWER MANHOLE	● SMH
STORMWATER PIT	□ SP
WATERTANK	● WT
HYDRANT	○ H
POWER POLE	○ PP
PROPOSED TREE/SHRUB	⊗
EXISTING TREE	⊗
TREE TO BE REMOVED	⊗
PRIVATE OPEN SPACE	■
PROPOSED LANDSCAPE AREA	■

**DEMOLITION PLAN**  
 SCALE 1: 200 @ A3

DATE	REVISION	ISSUE
14/05/2019	FIRST ISSUE	A

PROJECT NAME : Medium Density Development
DRAWING TITLE : Demolition Plan
DRAWN BY : AD      CHECKED BY : GKI
LONGITUDE: 150.57880    LATITUDE: -34.29186

CLIENT NAME : Mr Daniel Carpenter
SITE DETAILS: No. 73 Radnor Road, Bargo
LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m
FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

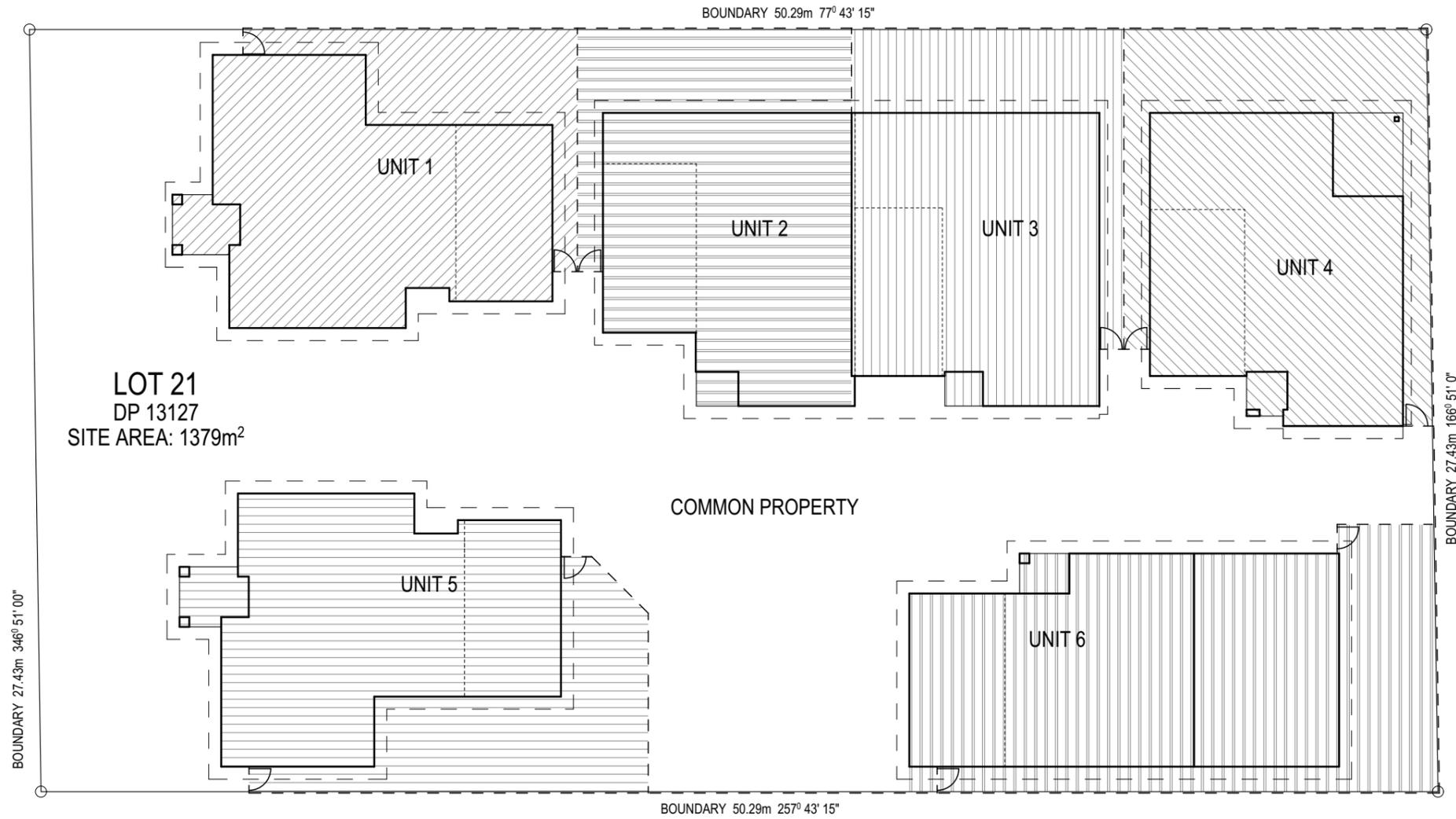
PLOT DATE: 16/05/2019
DRAWING NO: 9021
SOFTWARE: ArchiCad V 22
ISSUE: A
SHEET NO: 25 of 29

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R A D N O R R O A D



LOT 21  
DP 13127  
SITE AREA: 1379m<sup>2</sup>

COMMON PROPERTY

**PROPOSED STRATA  
PLAN**  
SCALE 1: 200 @ A3

Certificate no.: 0003879046  
Assessor Name: Scott Douglass  
Accreditation no.: 13/1547  
Certificate date: 22 May 2019  
Dwelling Address: 1, 73 Radnor Road  
Bargo, NSW 2574  
www.nathers.gov.au

SCHEDULE OF UNIT ENTITLEMENTS	
UNIT	UNIT ENTITLEMENT
UNIT 1	1/6
UNIT 2	1/6
UNIT 3	1/6
UNIT 4	1/6
UNIT 5	1/6
UNIT 6	1/6
AGGREGATE	6/6

DATE	REVISION	ISSUE
14/05/2019	FIRST ISSUE	A

PROJECT NAME : Medium Density Development
DRAWING TITLE : Proposed Strata Palm
DRAWN BY : AD      CHECKED BY : GKI
LONGITUDE: 150.57880    LATITUDE: -34.29186

CLIENT NAME : Mr Daniel Carpenter
SITE DETAILS: No. 73 Radnor Road, Bargo
LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m
FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

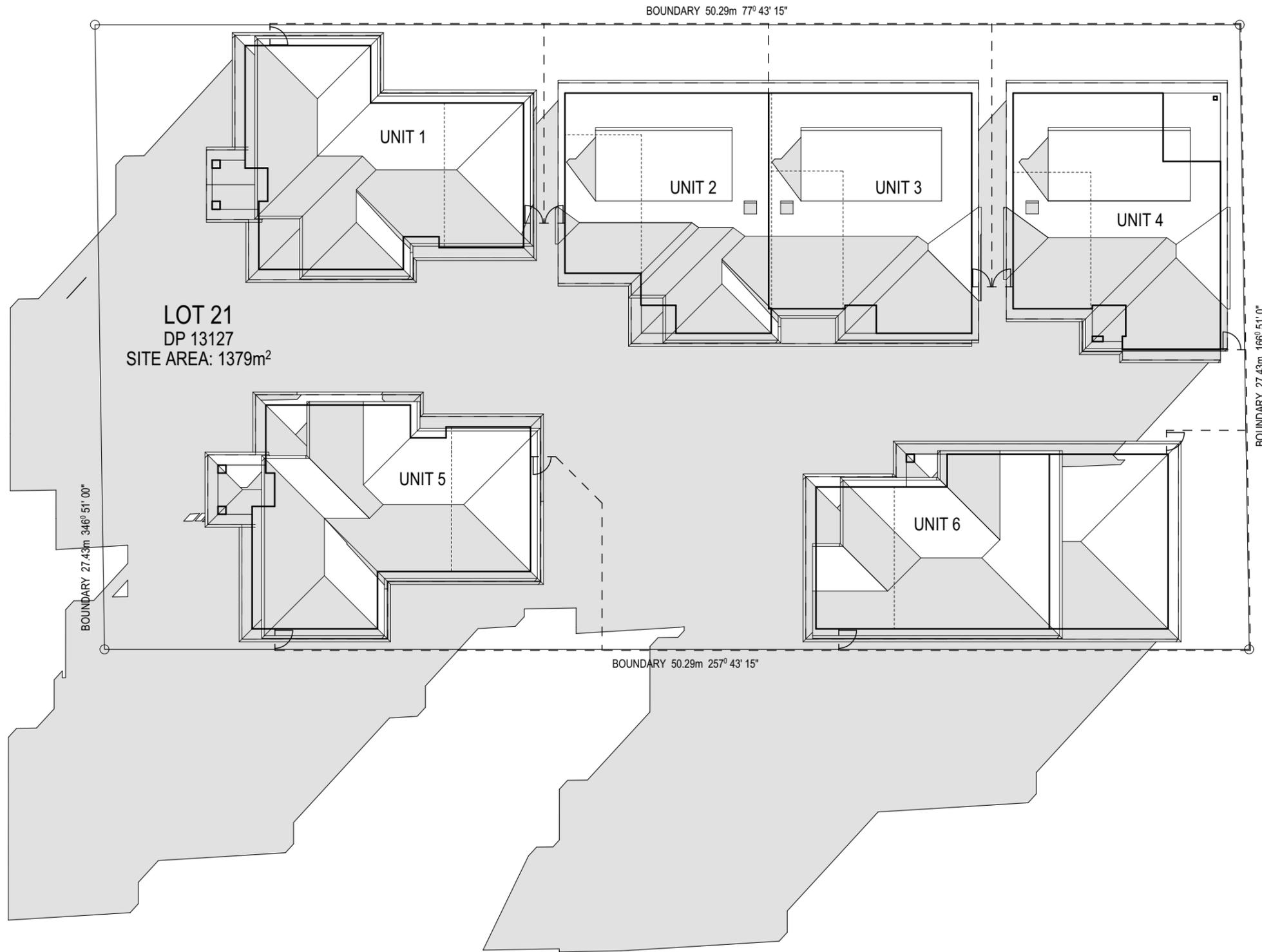
PLOT DATE: 16/05/2019
DRAWING NO: 9021
SOFTWARE: ArchiCad V 22
ISSUE: A
SHEET NO: 26 of 29

abode  
DRAFTING  
ABN : 21 003 757 444  
P: (02) 46 772 489 E: mail@abodedrafting.com.au

PROJECT NAME : Medium Density Development
DRAWING TITLE : Proposed Strata Palm
DRAWN BY : AD      CHECKED BY : GKI
LONGITUDE: 150.57880    LATITUDE: -34.29186



R A D N O R R O A D



Certificate no.: 0003879046  
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[www.nathers.gov.au](http://www.nathers.gov.au)

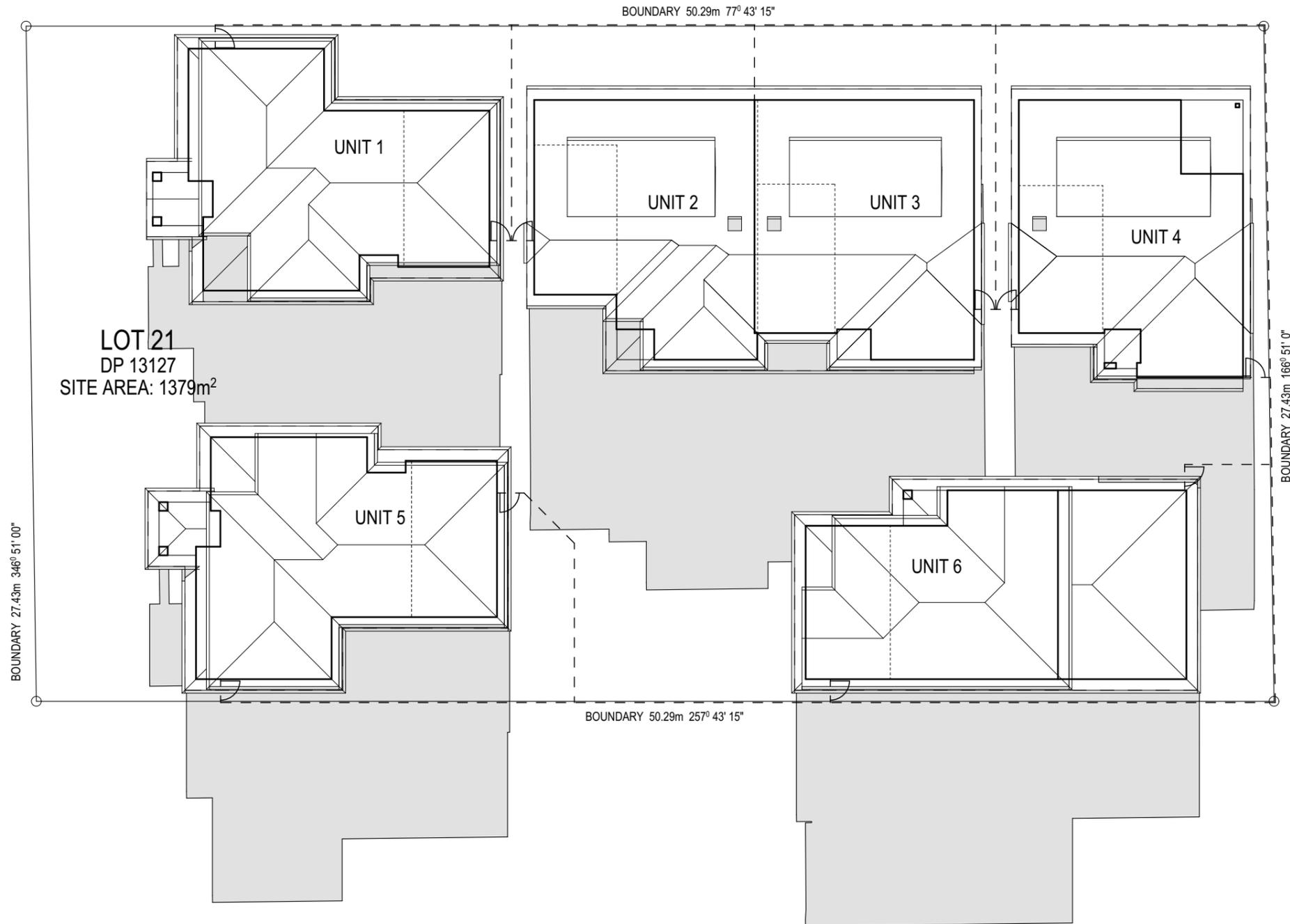


**SHADOW DIAGRAM**  
 9am JUNE 21ST  
 SCALE 1: 200 @ A3

			PROJECT NAME : <b>Medium Density Development</b>	CLIENT NAME : <b>Mr Daniel Carpenter</b>	PLOT DATE: 16/05/2019 DRAWING NO: 9021		
			DRAWING TITLE : <b>9am Shadow Diagram</b>	SITE DETAILS: <b>No. 73 Radnor Road, Bargo</b>	SOFTWARE: ArchiCad V 22 ISSUE: <b>A</b>		
14/05/2019	FIRST ISSUE	A	DRAWN BY: AD      CHECKED BY: GKI LONGITUDE: 150.57880      LATITUDE: -34.29186	LOT NO: 21      SECT: -      D P NO: 13127      SITE AREA: 1379 sq m FRONTAGE: 27.43m      LGA: WOLLONDILLY      ZONE: R3	SHEET NO: 27 of 29		
DATE	REVISION	ISSUE					



R A D N O R R O A D



LOT 21  
DP 13127  
SITE AREA: 1379m<sup>2</sup>

SHADOW DIAGRAM  
12pm JUNE 21ST  
SCALE 1: 200 @ A3

Certificate no.: 0003879046  
 Assessor Name: Scott Douglass  
 Accreditation no.: 13/1547  
 Certificate date: 22 May 2019  
 Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574  
 105.0 MJ/m<sup>2</sup>  
[www.nathers.gov.au](http://www.nathers.gov.au)



14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
Medium Density Development

DRAWING TITLE :  
12 pm Shadow Diagram

DRAWN BY : AD      CHECKED BY : GKI  
LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
Mr Daniel Carpenter

SITE DETAILS:  
No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m  
FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

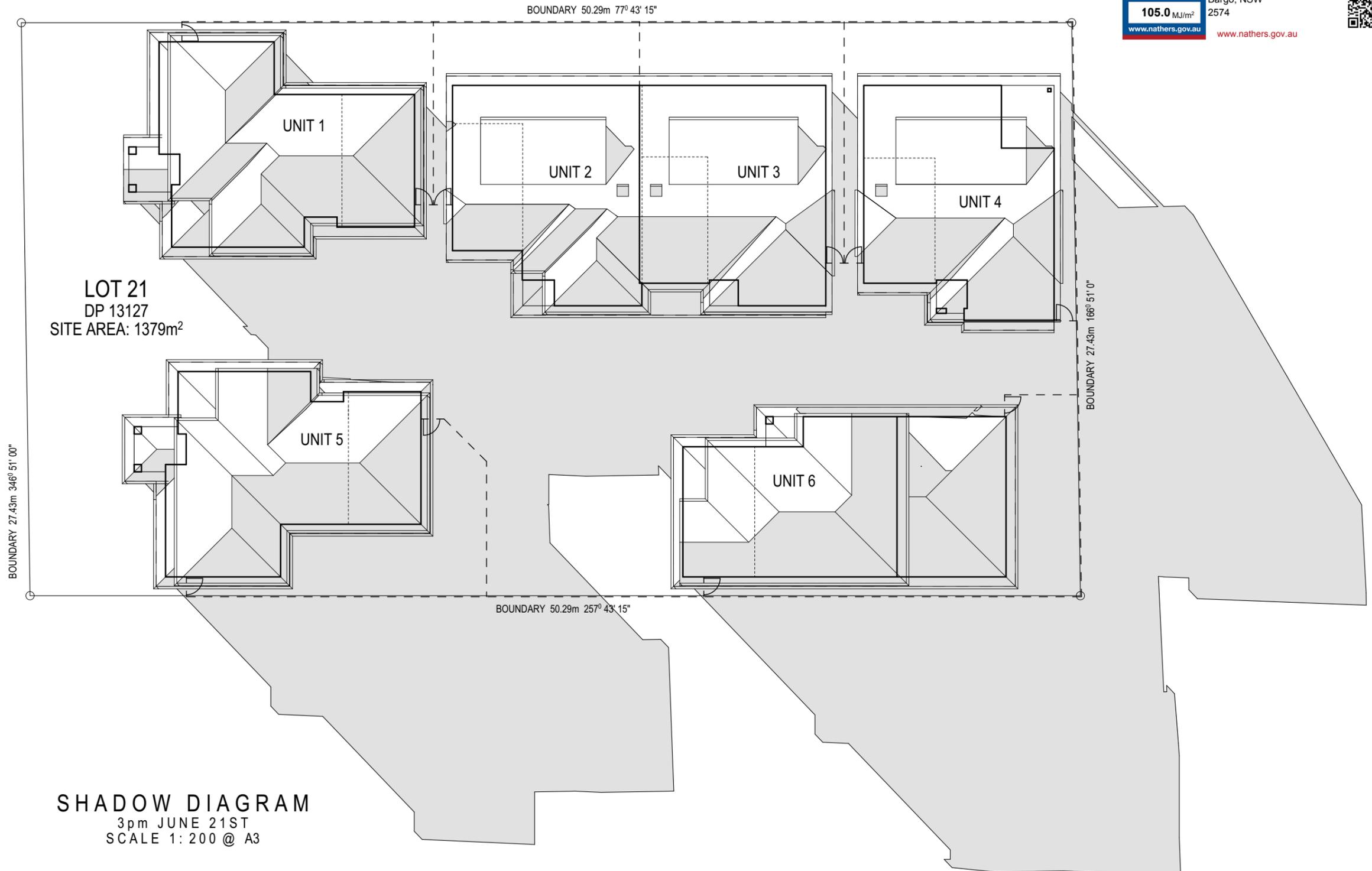
PLOT DATE: 16/05/2019  
DRAWING NO: 9021  
SOFTWARE: ArchiCad V 22  
ISSUE: A  
SHEET NO: 28 of 29



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 P: (02) 46 772 489 E: mail@abodedrafting.com.au



R A D N O R R O A D



LOT 21  
DP 13127  
SITE AREA: 1379m<sup>2</sup>

**SHADOW DIAGRAM**  
3pm JUNE 21ST  
SCALE 1: 200 @ A3



Certificate no.: 0003879046  
Assessor Name: Scott Douglass  
Accreditation no.: 13/1547  
Certificate date: 22 May 2019  
Dwelling Address: 1, 73 Radnor Road  
Bargo, NSW 2574  
[www.nathers.gov.au](http://www.nathers.gov.au)



14/05/2019	FIRST ISSUE	A
DATE	REVISION	ISSUE

PROJECT NAME :  
Medium Density Development

DRAWING TITLE :  
3pm Shadow Diagram

DRAWN BY : AD      CHECKED BY : GKI

LONGITUDE: 150.57880      LATITUDE: -34.29186

CLIENT NAME :  
Mr Daniel Carpenter

SITE DETAILS:  
No. 73 Radnor Road, Bargo

LOT NO: 21    SECT: -    D P NO: 13127    SITE AREA: 1379 sq m

FRONTAGE: 27.43m    LGA: WOLLONDILLY    ZONE: R3

PLOT DATE: 16/05/2019

DRAWING NO: 9021

SOFTWARE: ArchiCad V 22

ISSUE: A

SHEET NO: 29 of 29

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