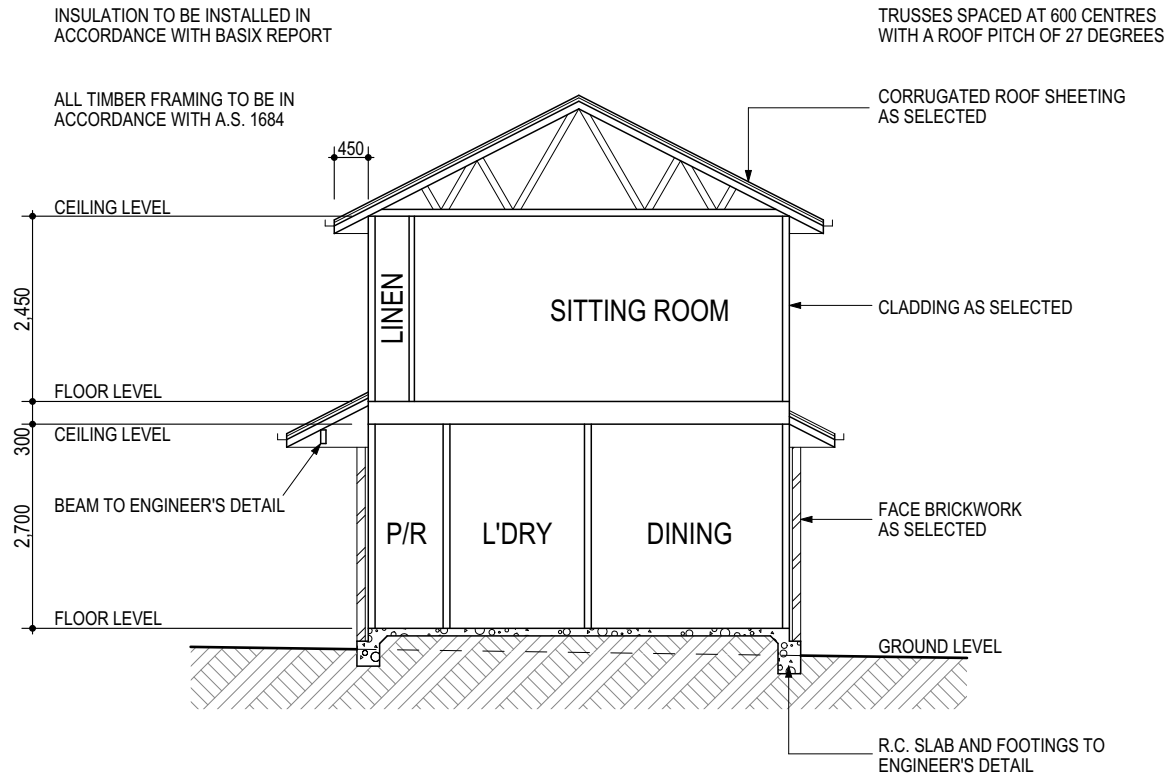




Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW 2574
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UNIT 1
SECTION S/01
SCALE 1:100 @ A3

Unit 1 BASIX Notes:

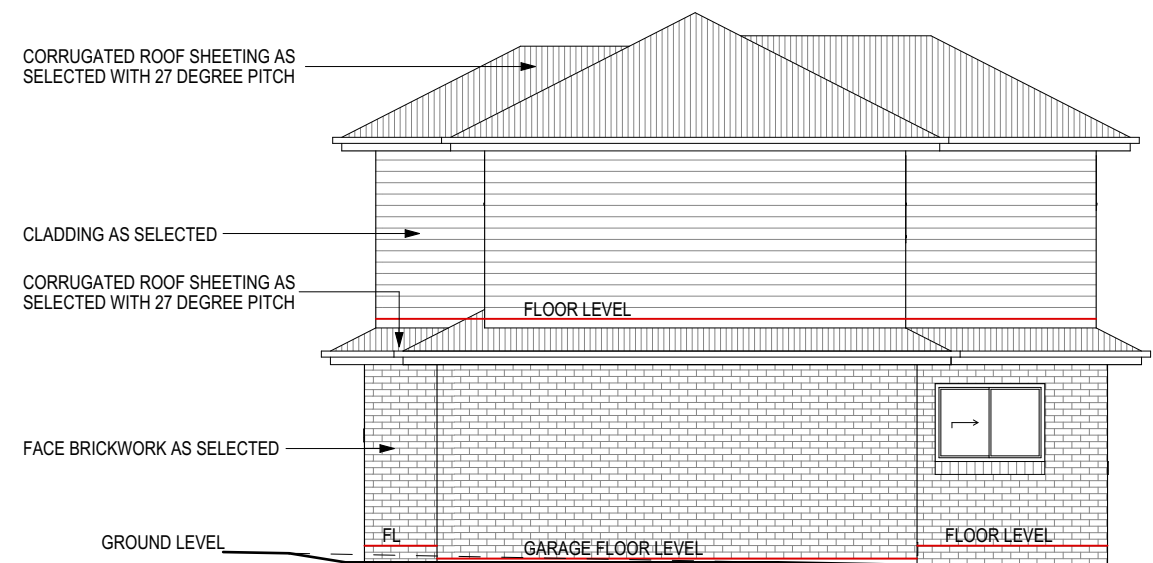
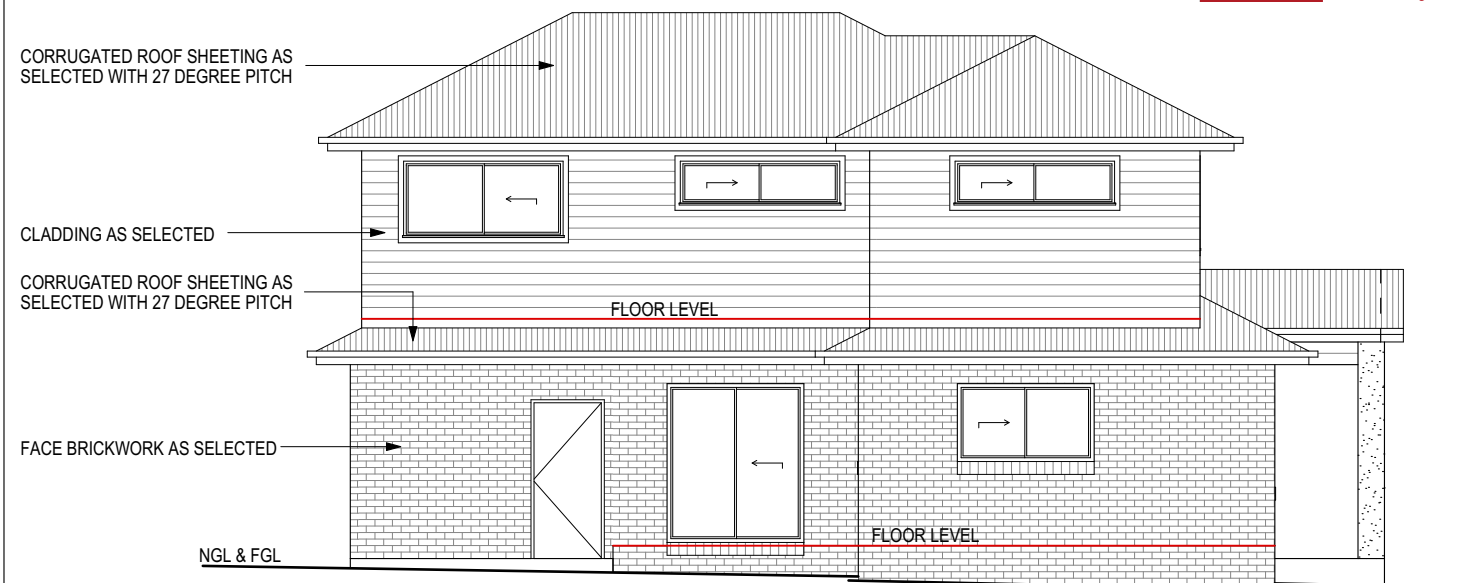
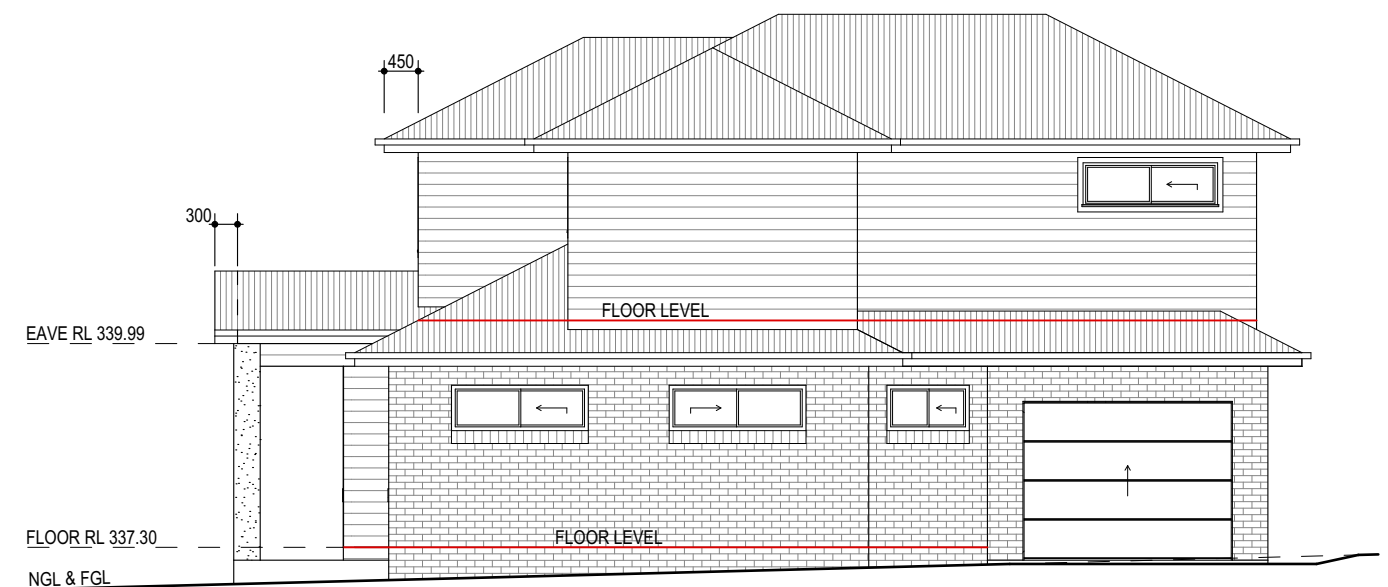
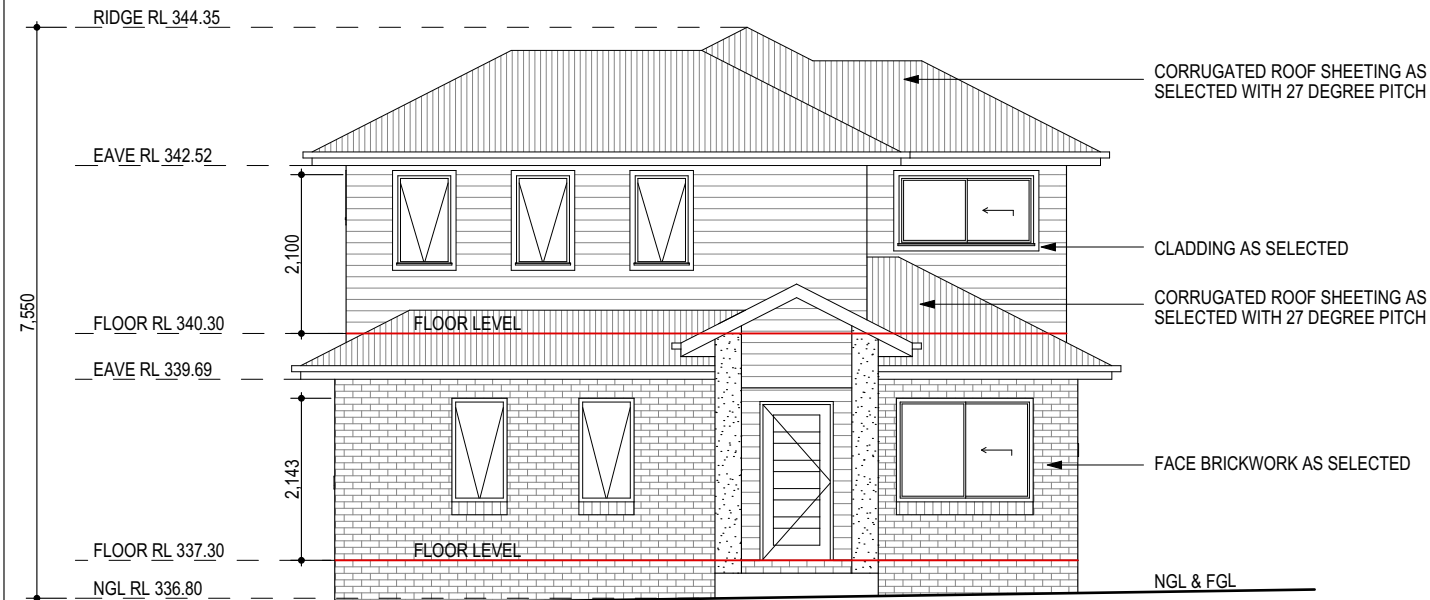
- WATER**
- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
 - 3 star rated showerheads
 - 4 star rated toilets & taps
- THERMAL COMFORT**
- Waffle pod slab
 - Minimum R2.5 insulation to external walls(excluding garage)
 - R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
 - R5.0 insulation to ceilings (excludes garage)(units 5 only)
 - R2.5 insulation to walls between house & garage
 - R2.5 insulation to ceiling/floor between house & garage
 - R2.5 insulation to walls between house & roof space
 - R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
 - R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
 - Sarking to underside of roof
 - Medium wall & dark roof colour
 - Weatherseals to all external doors including internal access to garage
 - Default floor coverings used in NatHERS rating
 - Insulation must be installed in accordance with NCC and relevant Australian Standards.
 - Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
 - Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
 - All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
 - Skylights to be single glazed clear
- ENERGY**
- Gas instantaneous 6 star HWS
 - Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
 - Ducted rangehood to kitchen with manual on/off switch(sealed)
 - Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
 - Gas cooktop & electric oven
 - Well ventilated fridge space
 - Permanent outdoors clothesline
 - Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
 - Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

UNIT 1 WINDOW SCHEDULE

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U1 W01	SW 1318	1,370	1,810			2,143
U1 W02	AW 1307	1,370	730			2,143
U1 W03	AW 1307	1,370	730			2,143
U1 W04	SW 1018	1,030	1,810			2,143
U1 W05	SW 1014	1,030	1,450			2,143
U1 W06	SD 2118	2,100	1,810			2,143
U1 W07	SW 0610	600	1,090			2,143
U1 W08	SW 0618	600	1,810			2,143
U1 W09	SW 0618	600	1,810			2,143
U1 W10	SW0918	944	1,810			2,100
U1 W11	AW 1207	1,200	730			2,100
U1 W12	AW 1207	1,200	730			2,100
U1 W13	AW 1207	1,200	730			2,100
U1 W14	SW 0621	600	2,140			2,100
U1 W15	SW 0621	600	2,140			2,100
U1 W16	SW 1021	1,030	2,140			2,100
U1 W17	SW 0618	600	1,810			2,100

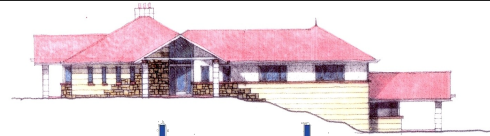
WINDOW & DOOR SIZES TO BE CONFIRMED BY
BUILDER PRIOR TO ORDERING

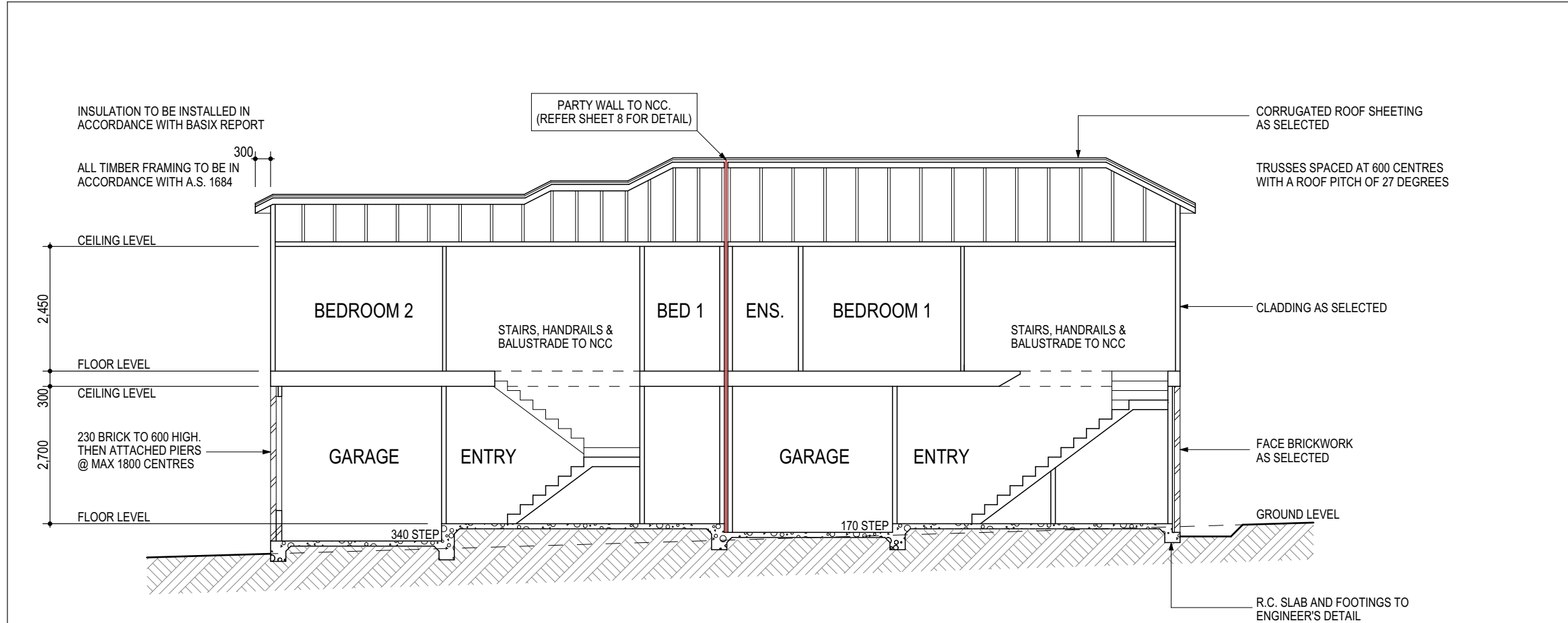
			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Unit 1 Section & Window Schudule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A	
DATE	REVISION	ISSUE			SHEET NO : 3 of 29	



Certificate no.: 0003879046
Assessor Name: Scott Douglass
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Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574
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			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 abode DRAFTING ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au					
			DRAWING TITLE : Unit 1 Elevations	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021						
					SOFTWARE: ArchiCad V 22						
					ISSUE : A						
					SHEET NO : 4 of 29						
14/05/2019	FIRST ISSUE	A	DRAWN BY : AD	CHECKED BY : GKI	LOT NO: 21	SECT: -	D P NO: 13127	SITE AREA: 1379 sq m	FRONTAGE: 27.43m	LGA: WOLLONDILLY	ZONE: R3
DATE	REVISION	ISSUE	LONGITUDE: 150.57880	LATITUDE: -34.29186							



UNIT 2 & 3
SECTION S/02
SCALE 1:100 @ A3

Unit 2 & 3 BASIX Notes:

WATER

1. Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
2. 3 star rated showerheads
3. 4 star rated toilets & taps

THERMAL COMFORT

4. Waffle pod slab
5. Minimum R2.5 insulation to external walls(excluding garage)
6. R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
7. R5.0 insulation to ceilings (excludes garage)(units 5 only)
8. R2.5 insulation to walls between house & garage
9. R2.5 insulation to ceiling/floor between house & garage
10. R2.5 insulation to walls between house & roof space
11. R2.0 insulation to floor of first floor where it extends past lower level(units 3 & 4)
12. R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
13. Sarking to underside of roof
14. Medium wall & dark roof colour
15. Weatherseals to all external doors including internal access to garage

16. Default floor coverings used in NatHERS rating
17. Insulation must be installed in accordance with NCC and relevant Australian Standards.
18. Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
19. Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
20. All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
21. Skylights to be single glazed clear

ENERGY

22. Gas instantaneous 6 star HWS
23. Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
24. Ducted rangehood to kitchen with manual on/off switch(sealed)
25. Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
26. Gas cooktop & electric oven
27. Well ventilated fridge space
28. Permanent outdoors clothesline
29. Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
30. Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)




Certificate no.: 0003879046
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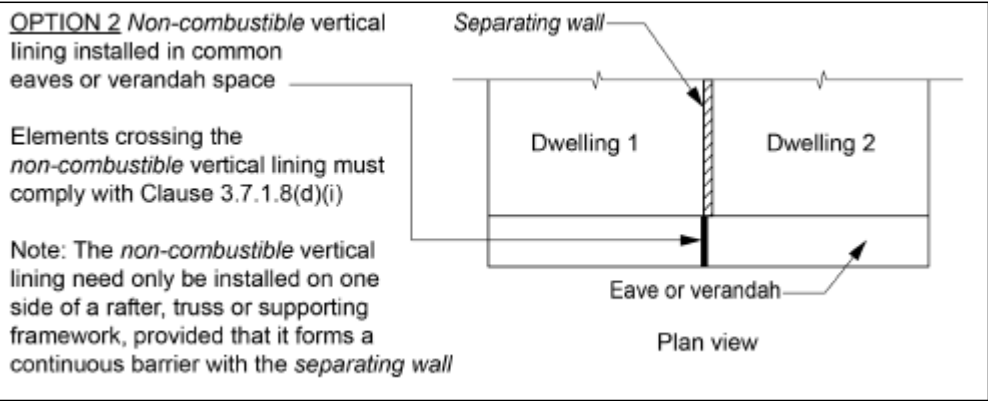


WINDOW & DOOR SIZES TO BE CONFIRMED BY
BUILDER PRIOR TO ORDERING

UNIT 2 & 3 WINDOW SCHEDULE

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U2/3 SKYLIGHT 1	C01	700	500			---
U2/3 SKYLIGHT 2	C01	700	500			---
U2/3 W01	SW 0606	600	610			2,143
U2/3 W02	SW 1010	1,030	1,090			2,143
U2/3 W03	ST 2132	2,100	3,250			2,143
U2/3 W04	SW 0615	600	1,570			2,143
U2/3 W05	ST 2132	2,100	3,250			2,143
U2/3 W06	SW 1318	1,370	1,810			2,143
U2/3 W07	SW 1014	1,030	1,450			2,143
U2/3 W08	AW 1307	1,370	730			2,143
U2/3 W09	AW 1307	1,370	730			2,143
U2/3 W10	AW 1307	1,370	730			2,143
U2/3 W11	AW 1307	1,370	730			2,143
U2/3 W12	SW 0614	600	1,450			2,340
U2/3 W13	SW 1018	1,030	1,810			2,340
U2/3 W14	SW 1018	1,030	1,810			2,340
U2/3 W15	SW 1018	1,030	1,810			2,340
U2/3 W16	SW 1215	1,200	1,570			2,100
U2/3 W17	SW 0615	600	1,570			2,100
U2/3 W18	SW 1215	1,200	1,570			2,100
U2/3 W19	SW 0624	600	2,410			2,100
U2/3 W20	AW 1207	1,200	730			2,100
U2/3 W21	AW 1207	1,200	730			2,100
U2/3 W22	SW 1215	1,200	1,570			2,100

			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019		
			DRAWING TITLE : Unit 2 & 3 Section & Window Schedule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021		
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22		
			LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A		
14/05/2019	FIRST ISSUE	A					
DATE	REVISION	ISSUE				SHEET NO : 7 of 29	P: (02) 46 772 489 E: mail@abodedrafting.com.au



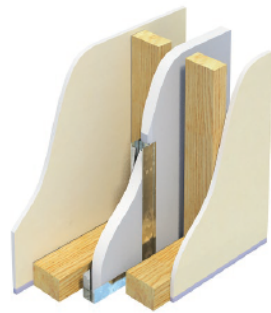
EXTRACT OF B.C.A.
Common eave to be separated by non-combustible vertical lining in accordance with the requirements of Clause 3.7.1.8 and Figure 3.7.1.11 of the BCA.

USG BORAL **PARTIWALL® SYSTEMS**
FRR 60/60/60 (SYSTEM TYPE PWT60.1)

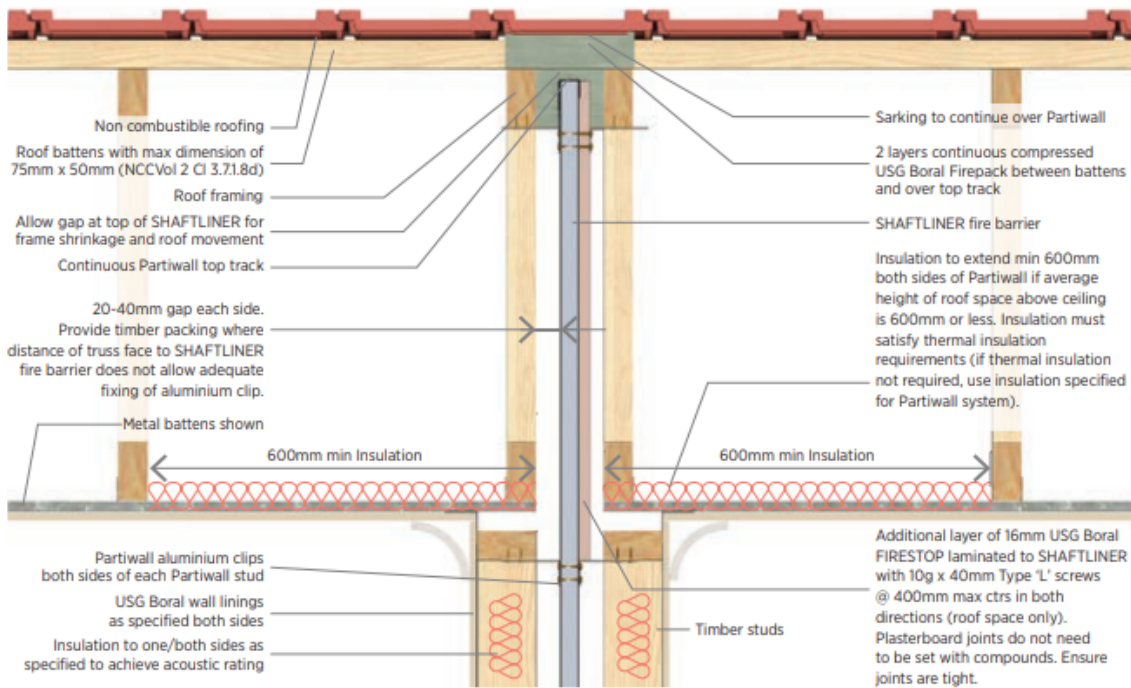
ACOUSTIC RATINGS BASIS: RT&A TE405-05F19										
SYSTEM	LINING SIDE 1	LINING SIDE 2	NOM WIDTH mm	STUD SIZE (GAP) mm	70 (20)			90 (20)		
				INSULATION	R _w	R _w +C _{tr}	STC	R _w	R _w +C _{tr}	STC
PWT60.1B	1x13mm ¹ SOUNDSTOP	1x13mm ¹ SOUNDSTOP	231	R2.0 GW Wall Fibreglass Insulation (both cavities)	62	52	60	NA	NA	NA
			271	R2.0 GW Wall Fibreglass Insulation (both cavities)	NA	NA	NA	64	55	62
				110mm Fibreglass Insulation (one cavity only)	NA	NA	NA	59	51	58

¹ 10 or 13mm Soundstop* available for larger projects and on indent

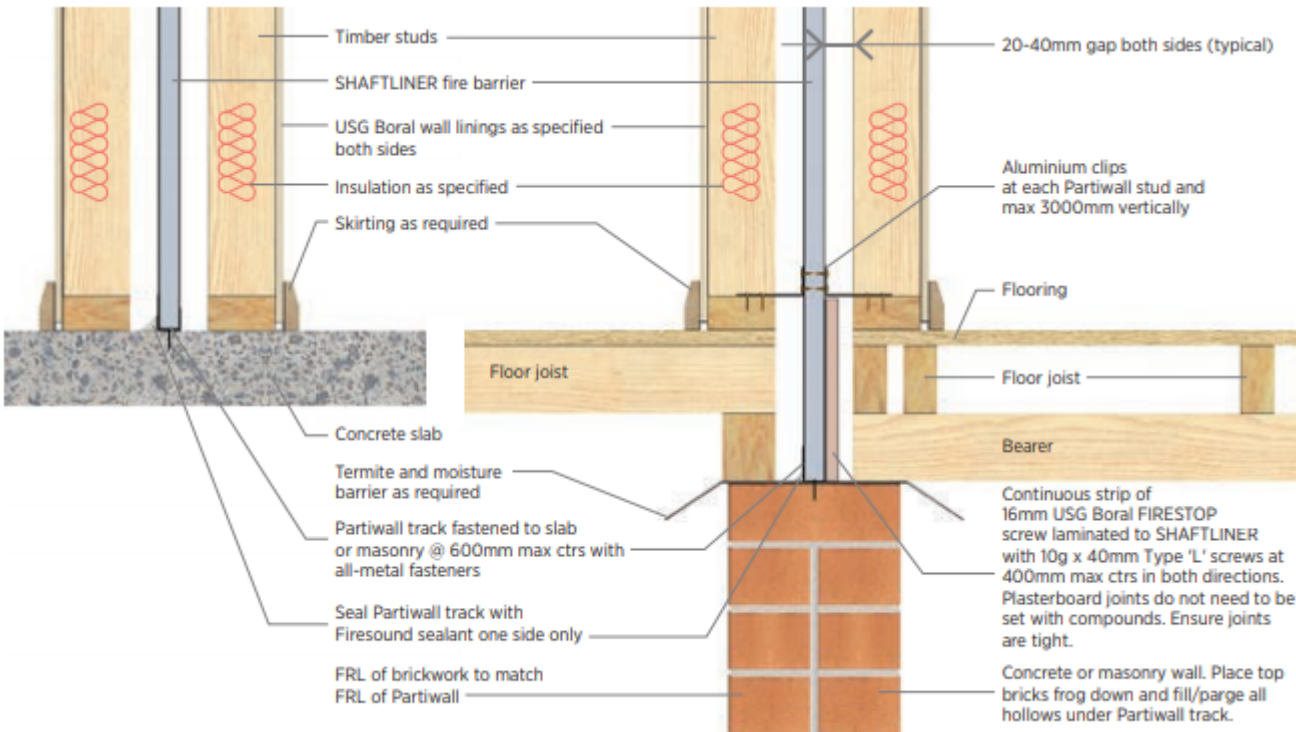
PWT60.1
FIRE RESISTANCE RATING
LB **60/60/60**
FROM BOTH SIDES
FRR Basis: FCO-2016, FSV 381



- SYSTEM DESCRIPTION**
- Side 1:**
- Non fire resistant lining (refer to table)
 - Timber framing
 - 20mm min gap between timber frame and fire barrier
 - Insulation (refer to table)
- Fire Barrier:**
- 1x25mm SHAFTLINER™ between 25mm H-studs @ 600mm ctrs
- Side 2:**
- Non fire resistant lining (refer to table)
 - Timber framing
 - 20mm min gap between timber frame and fire barrier
 - Insulation (refer to table).



WALL/ROOF JUNCTION
(BORAL PARTIWALL®)

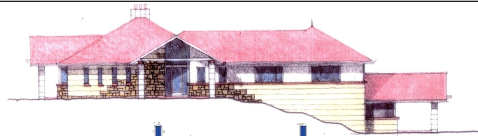


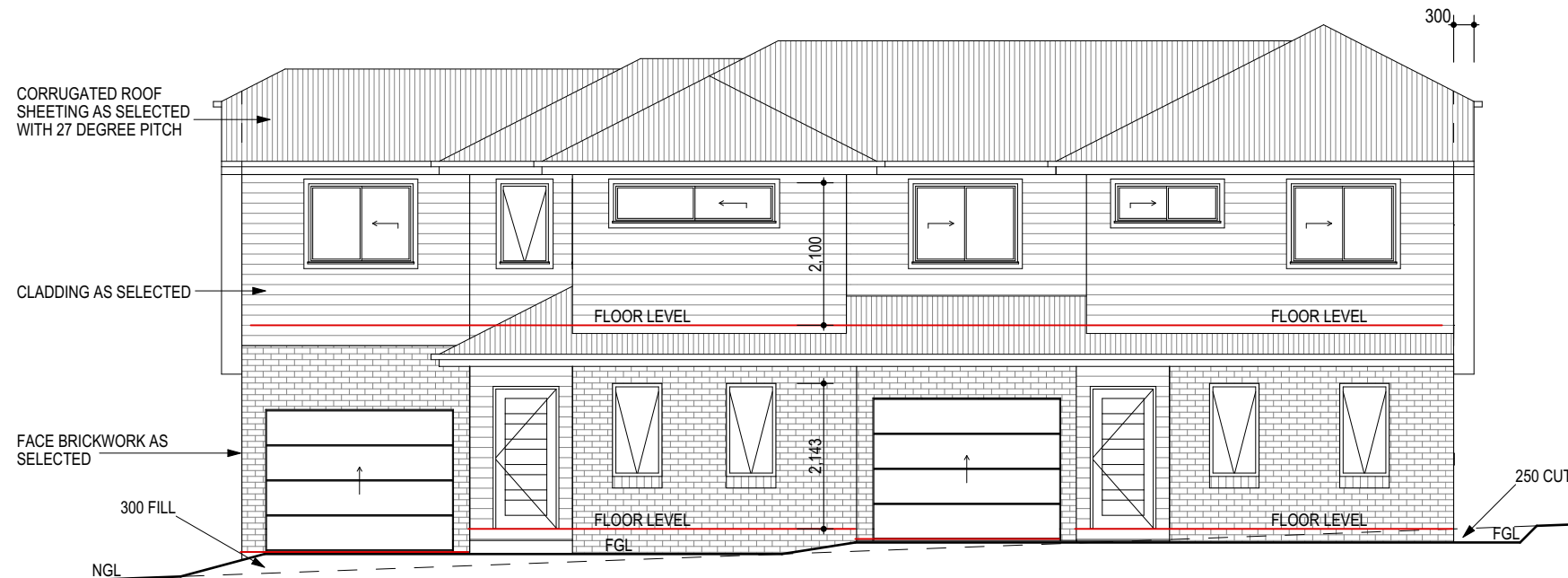
WALL/FLOOR JUNCTION
(BORAL PARTIWALL®)



Certificate no.: 0003879046
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Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574
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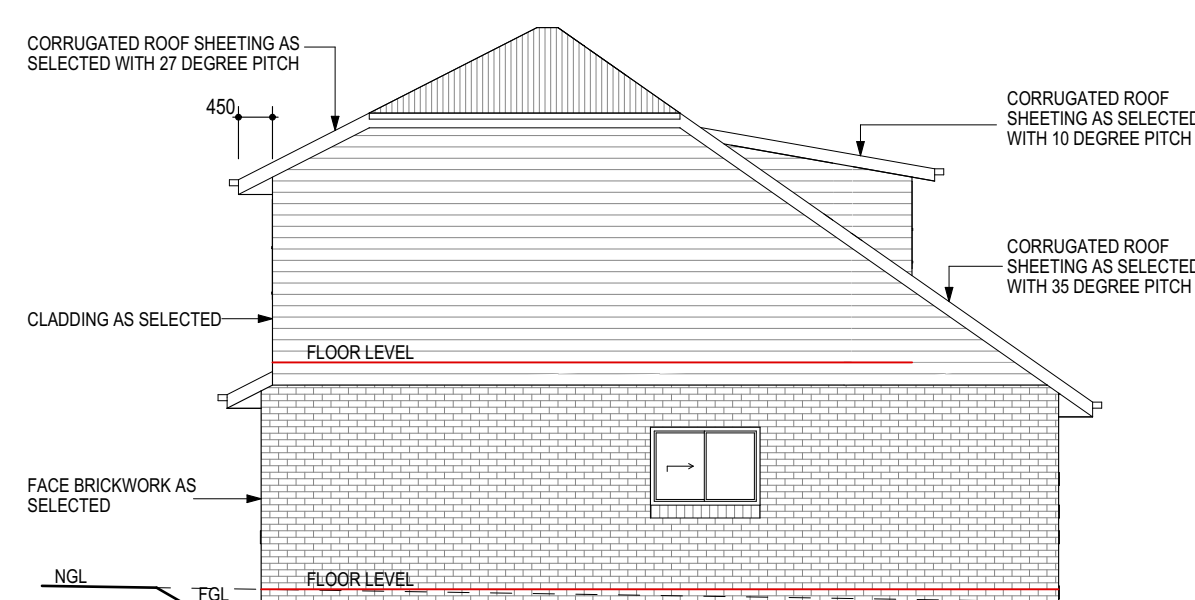
			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au	
			DRAWING TITLE : Party Wall Detail	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021		
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22		
			LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A		
14/05/2019	FIRST ISSUE	A					
DATE	REVISION	ISSUE					
			SHEET NO : 8 of 29				



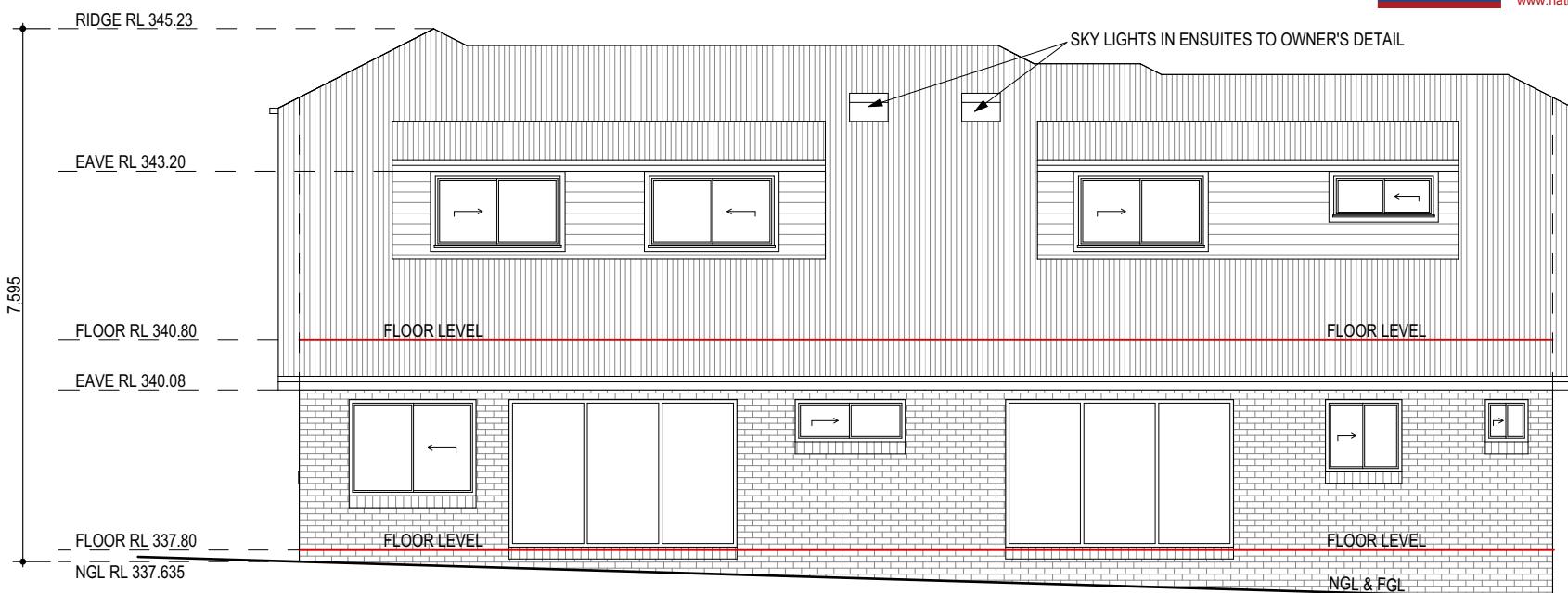
UNIT 2 & 3
SOUTHERN ELEVATION
SCALE 1:100 @ A3



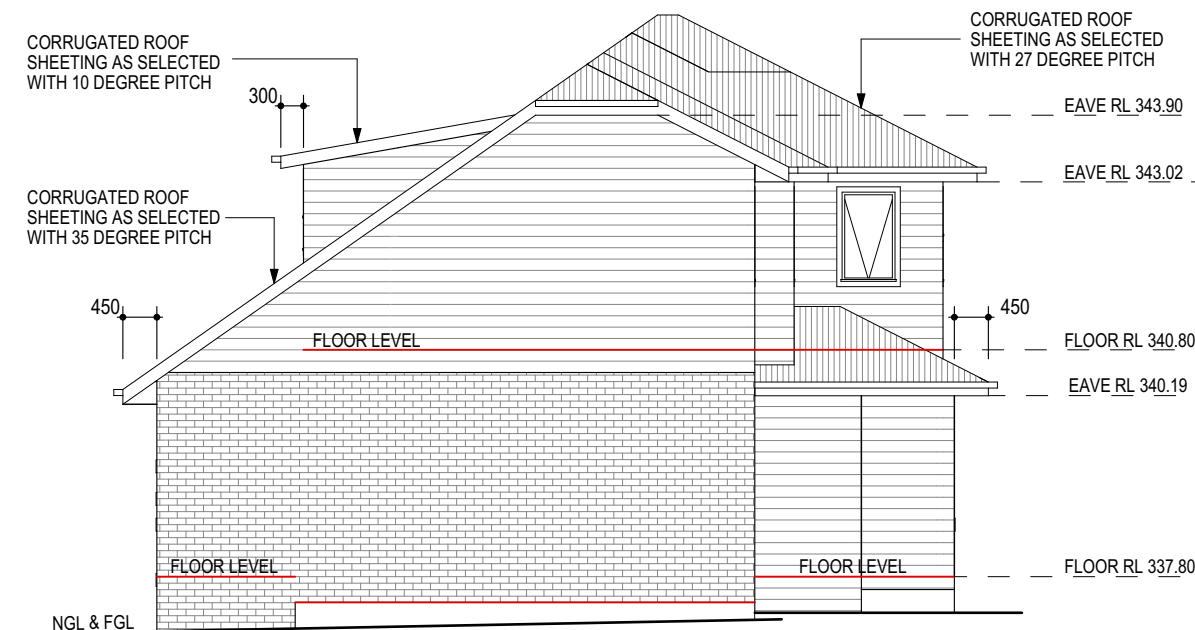
Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574
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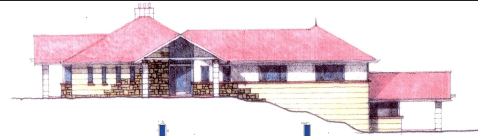
UNIT 2 & 3
WESTERN ELEVATION
SCALE 1:100 @ A3



UNIT 2 & 3
NORTHERN ELEVATION
SCALE 1:100 @ A3

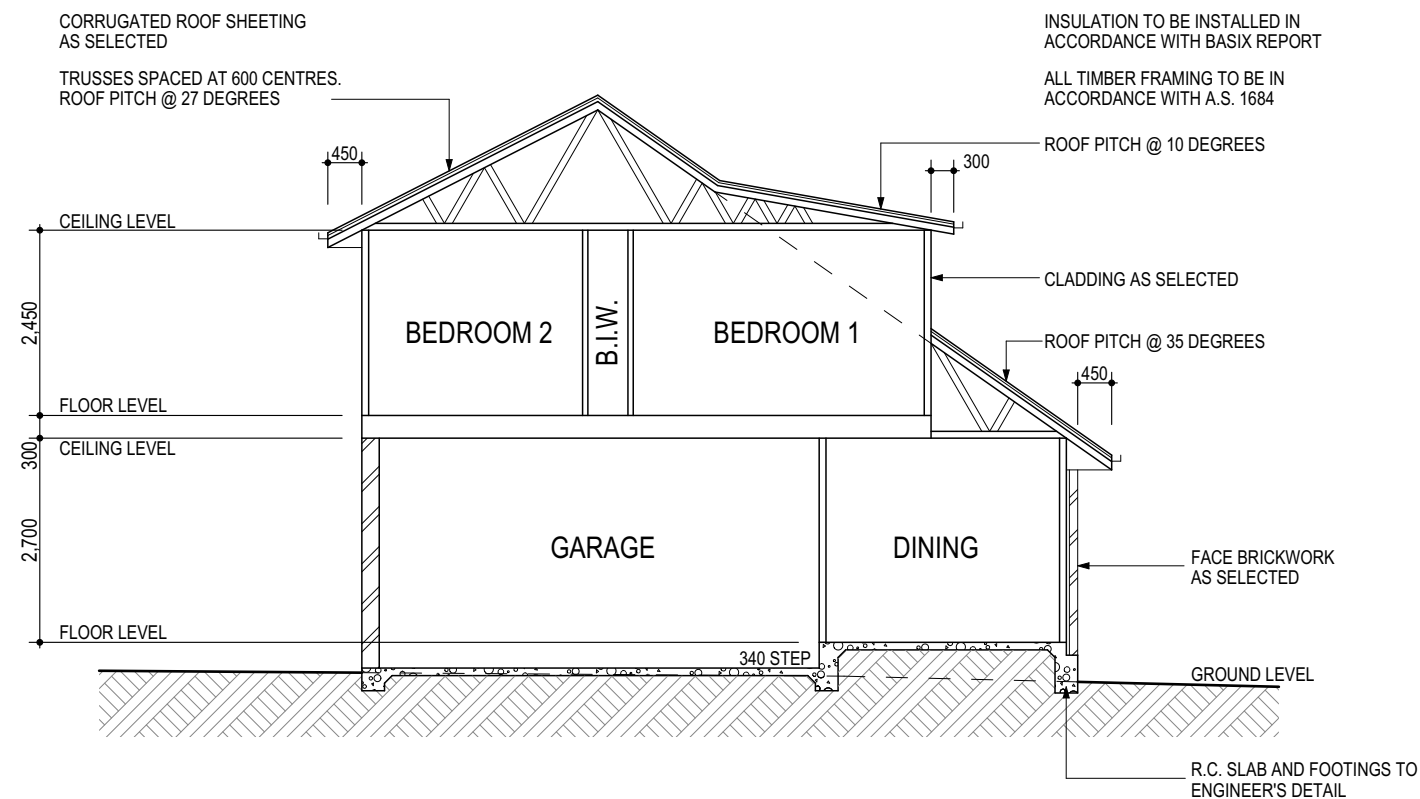


UNIT 2 & 3
EASTERN ELEVATION
SCALE 1:100 @ A3

			PROJECT NAME : Medium Density Development		CLIENT NAME : Mr Daniel Carpenter		PLOT DATE: 16/05/2019		 abode DRAFTING ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Unit 2 & 3 Elevations		SITE DETAILS: No. 73 Radnor Road, Bargo		DRAWING NO: 9021		
							SOFTWARE: ArchiCad V 22		
							ISSUE : A		
14/05/2019	FIRST ISSUE	A	DRAWN BY : AD CHECKED BY : GKI		LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m				
DATE	REVISION	ISSUE	LONGITUDE: 150.57880 LATITUDE: -34.29186		FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3		SHEET NO : 9 of 29		



Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address:
1, 73 Radnor Road
Bargo, NSW
2574
www.nathers.gov.au



UNIT4
SECTION S/03
SCALE 1:100 @ A3

Unit 4 BASIX Notes:

WATER

1. Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
2. 3 star rated showerheads
3. 4 star rated toilets & taps

THERMAL COMFORT

4. Waffle pod slab
5. Minimum R2.5 insulation to external walls(excluding garage)
6. R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
7. R5.0 insulation to ceilings (excludes garage)(units 5 only)
8. R2.5 insulation to walls between house & garage
9. R2.5 insulation to ceiling/floor between house & garage
10. R2.5 insulation to walls between house & roof space
11. R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
12. R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
13. Sarking to underside of roof
14. Medium wall & dark roof colour
15. Weatherseals to all external doors including internal access to garage
16. Default floor coverings used in NatHERS rating
17. Insulation must be installed in accordance with NCC and relevant Australian Standards.
18. Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
19. Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
20. All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
21. Skylights to be single glazed clear

ENERGY

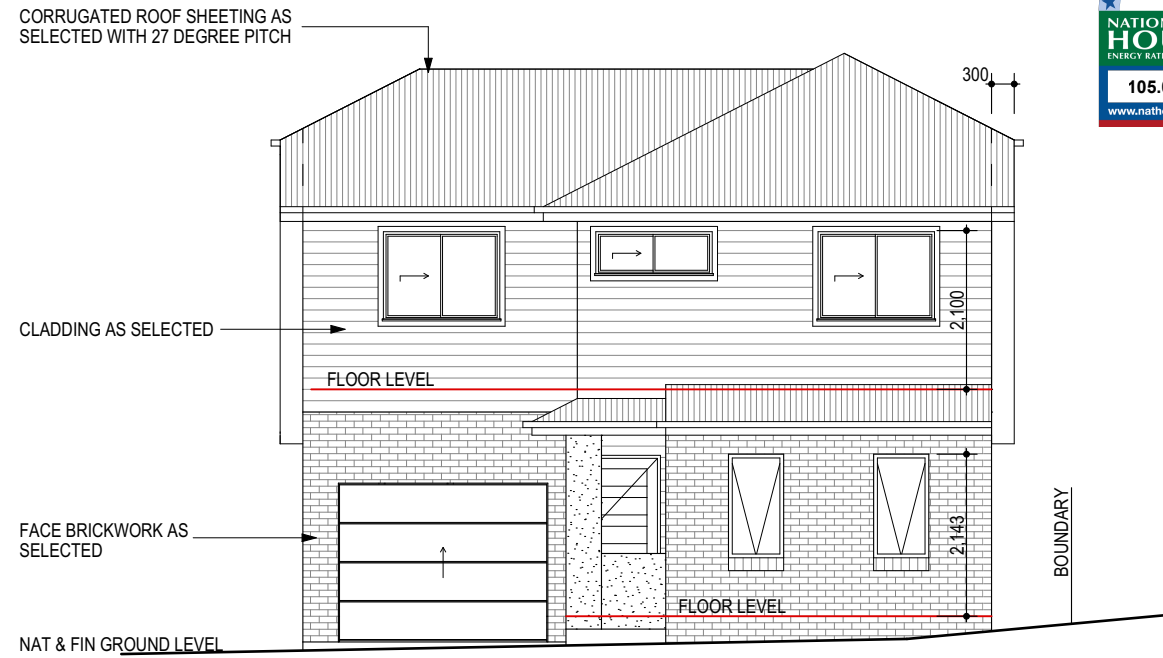
22. Gas instantaneous 6 star HWS
23. Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
24. Ducted rangehood to kitchen with manual on/off switch(sealed)
25. Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
26. Gas cooktop & electric oven
27. Well ventilated fridge space
28. Permanent outdoors clothesline
29. Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
30. Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

UNIT 4 WINDOW SCHEDULE

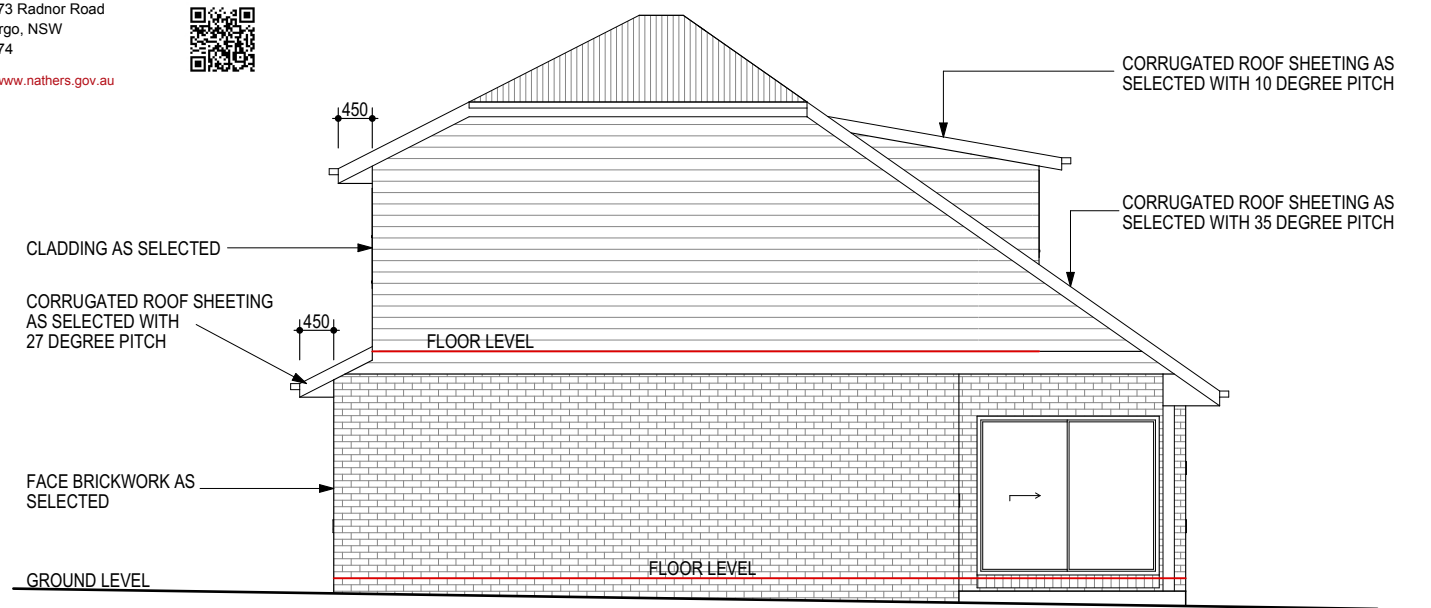
ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U4 SKYLIGHT 1	C01	700	500			---
U4 W01	AW 1307	1,370	730			2,143
U4 W02	AW 1307	1,370	730			2,143
U4 W03	SW 0613	600	1,370			2,143
U4 W04	SW 1326	1,370	2,650			2,143
U4 W05	SD 2124	2,100	2,410			2,143
U4 W06	SW 1014	1,030	1,450			2,143
U4 W07	SW 1215	1,200	1,570			2,100
U4 W08	SW 0615	600	1,570			2,100
U4 W09	SW 1215	1,200	1,570			2,100
U4 W10	SW 1018	1,030	1,810			2,340
U4 W11	SW 1018	1,030	1,810			2,340

WINDOW & DOOR SIZES TO BE CONFIRMED BY
BUILDER PRIOR TO ORDERING

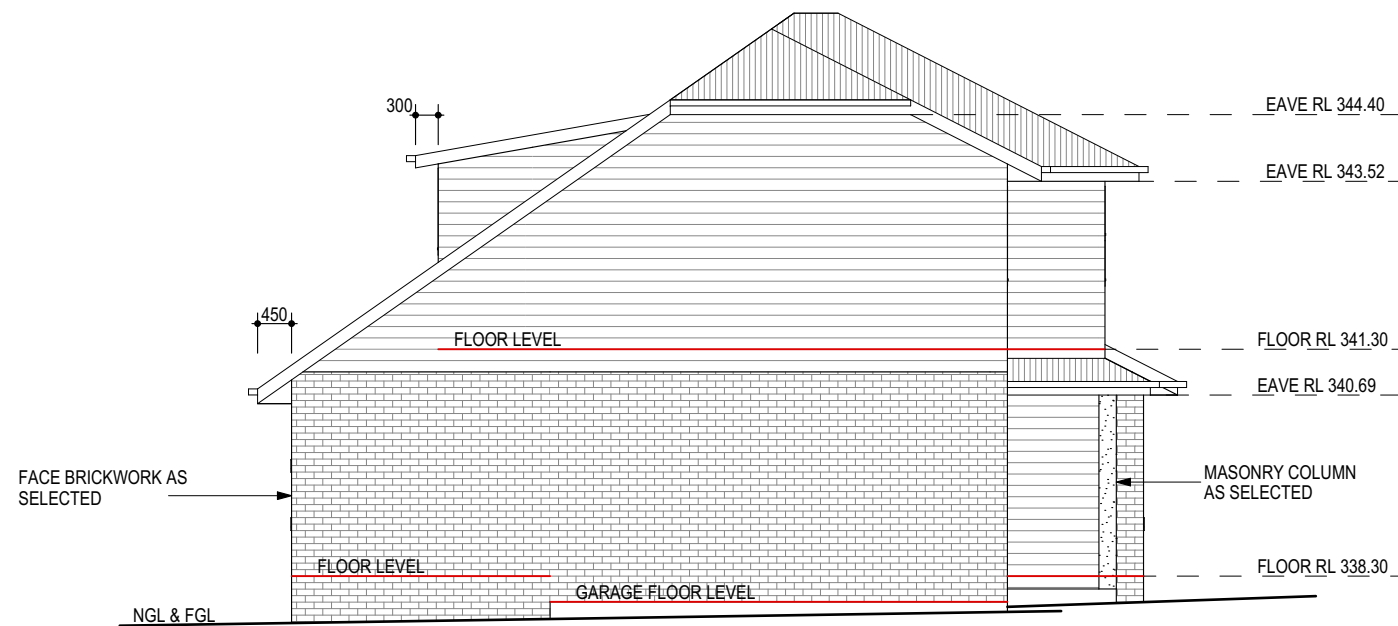
			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Unit 4 Section & Window Schedule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A	
DATE	REVISION	ISSUE			SHEET NO : 11 of 29	



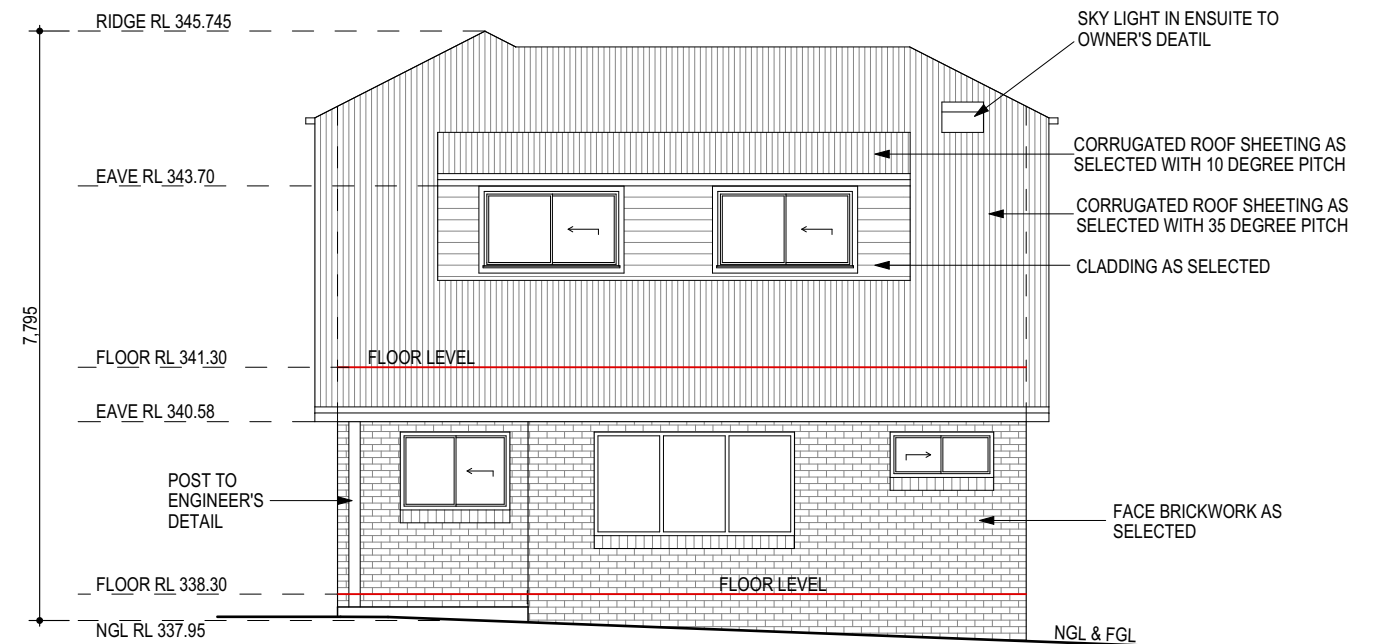
UNIT 4
SOUTHERN ELEVATION
SCALE 1:100 @ A3




UNIT 4
EASTERN ELEVATION
SCALE 1:100 @ A3



UNIT 4
WESTERN ELEVATION
SCALE 1:100 @ A3



UNIT 4
NORTHERN ELEVATION
SCALE 1:100 @ A3

			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 abode DRAFTING ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Unit 4 Elevations	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
			LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A	
14/05/2019	FIRST ISSUE	A			SHEET NO : 12 of 29	
DATE	REVISION	ISSUE				

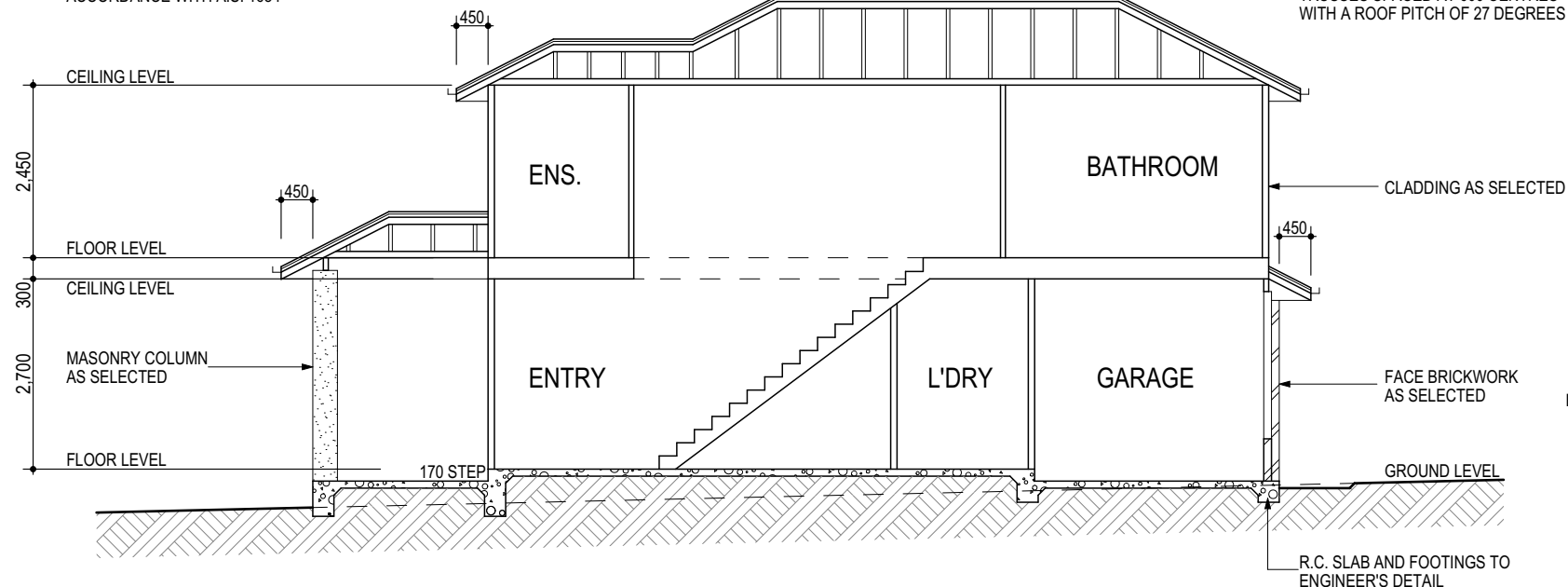


Certificate no.: 0003879046
Assessor Name: Scott Douglass
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Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW
2574
www.nathers.gov.au



INSULATION TO BE INSTALLED IN
ACCORDANCE WITH BASIX REPORT

ALL TIMBER FRAMING TO BE IN
ACCORDANCE WITH A.S. 1684



UNIT 5
SECTION S/04
SCALE 1:100 @ A3

Unit 5 BASIX Notes:

WATER

1. Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
2. 3 star rated showerheads
3. 4 star rated toilets & taps

THERMAL COMFORT

4. Waffle pod slab
5. Minimum R2.5 insulation to external walls(excluding garage)
6. R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
7. R5.0 insulation to ceilings (excludes garage)(units 5 only)
8. R2.5 insulation to walls between house & garage
9. R2.5 insulation to ceiling/floor between house & garage
10. R2.5 insulation to walls between house & roof space
11. R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
12. R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
13. Sarking to underside of roof
14. Medium wall & dark roof colour
15. Weatherseals to all external doors including internal access to garage
16. Default floor coverings used in NatHERS rating
17. Insulation must be installed in accordance with NCC and relevant Australian Standards.
18. Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
19. Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
20. All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
21. Skylights to be single glazed clear

ENERGY

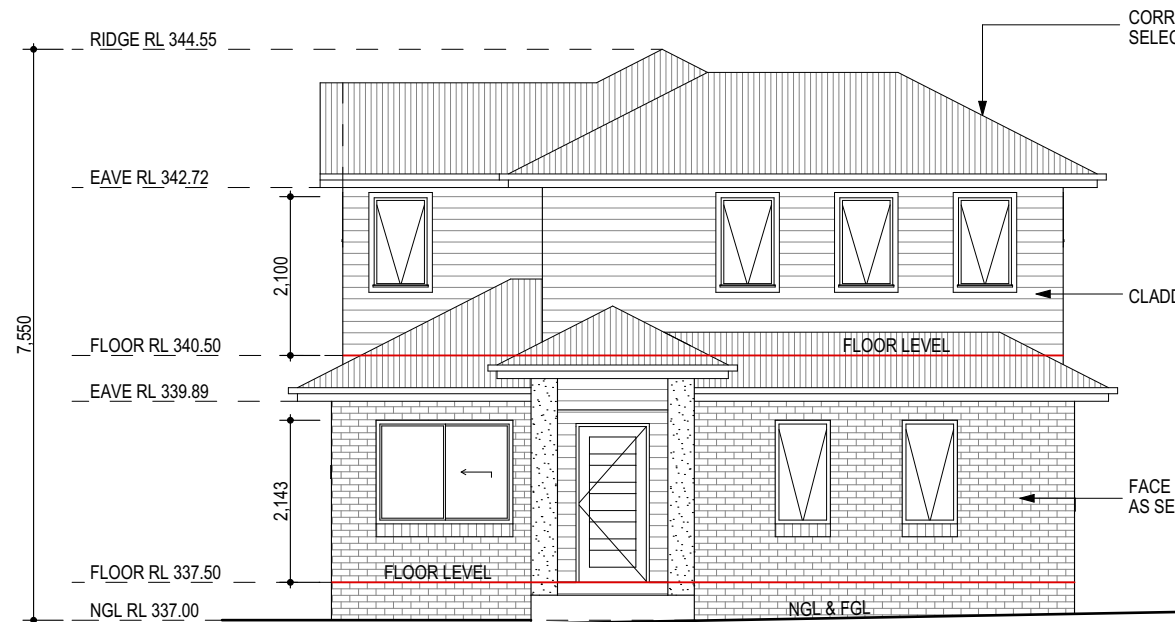
22. Gas instantaneous 6 star HWS
23. Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
24. Ducted rangehood to kitchen with manual on/off switch(sealed)
25. Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
26. Gas cooktop & electric oven
27. Well ventilated fridge space
28. Permanent outdoors clothesline
29. Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
30. Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

UNIT 5 WINDOW SCHEDULE

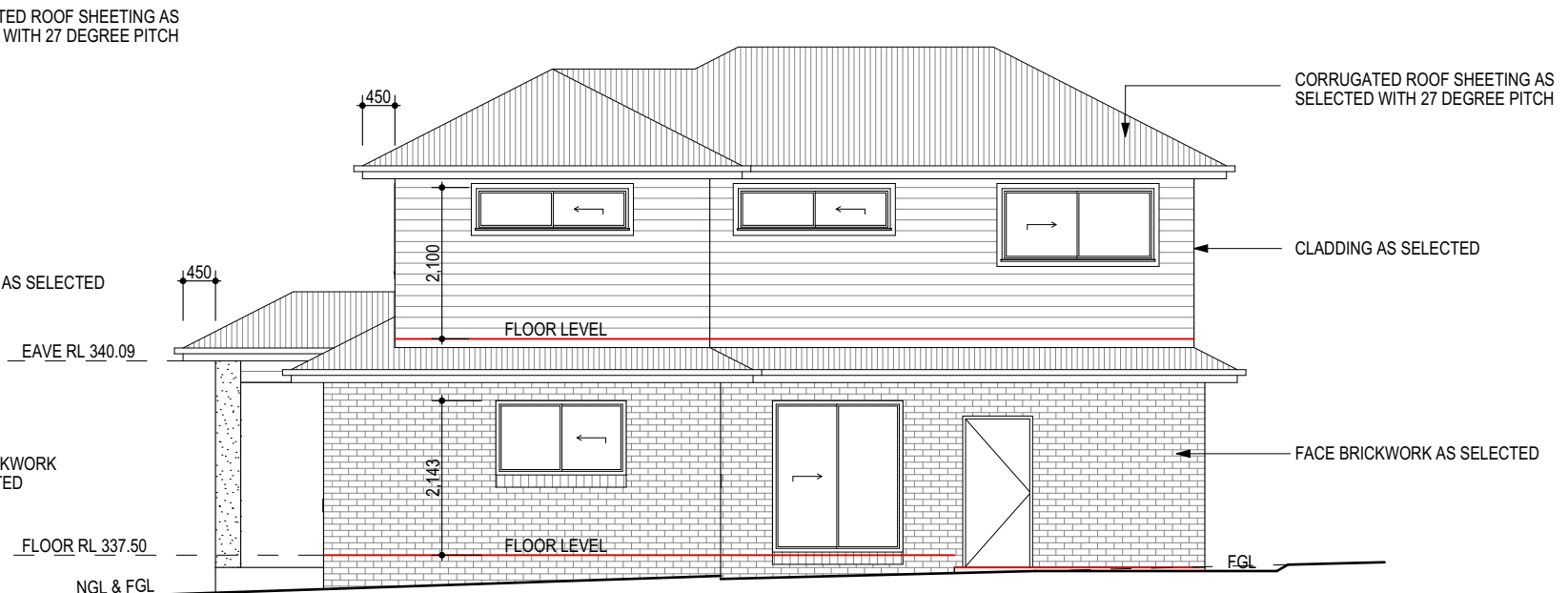
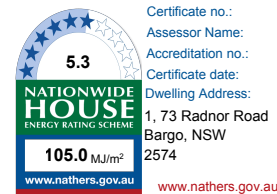
ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U5 W01	AW 1307	1,370	730			2,143
U5 W02	AW 1307	1,370	730			2,143
U5 W03	SW 1318	1,370	1,810			2,143
U5 W04	SW 0618	600	1,810			2,143
U5 W05	SW 0618	600	1,810			2,143
U5 W06	SW 0610	600	1,090			2,143
U5 W07	SD 2118	2,100	1,810			2,143
U5 W08	SW 1014	1,030	1,450			2,143
U5 W09	SW 1018	1,030	1,810			2,143
U5 W10	AW 1207	1,200	730			2,100
U5 W11	AW 1207	1,200	730			2,100
U5 W12	AW 1207	1,200	730			2,100
U5 W13	AW 1207	1,200	730			2,100
U5 W14	SW 0618	600	1,810			2,100
U5 W15	SW 0618	600	1,810			2,100
U5 W16	SW 1021	1,030	2,140			2,100
U5 W17	SW 0621	600	2,140			2,100
U5 W18	SW 0621	600	2,140			2,100

WINDOW & DOOR SIZES TO BE CONFIRMED BY
BUILDER PRIOR TO ORDERING

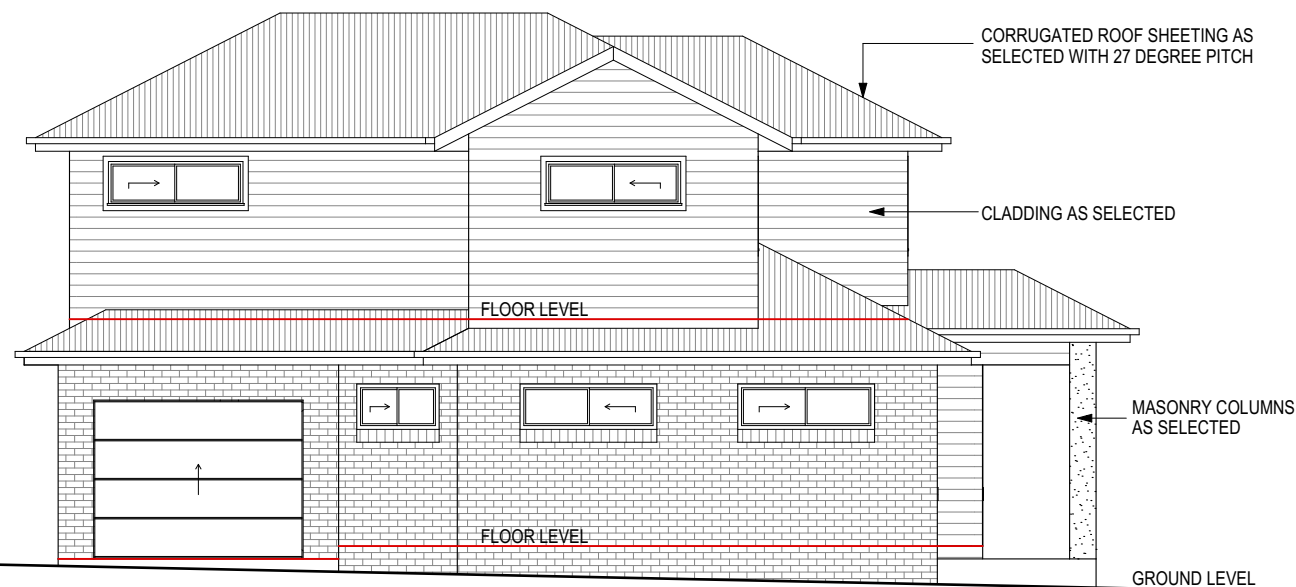
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			DRAWING TITLE : Unit 5 Section & Window Schedule	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A	
DATE	REVISION	ISSUE			SHEET NO : 15 of 29	



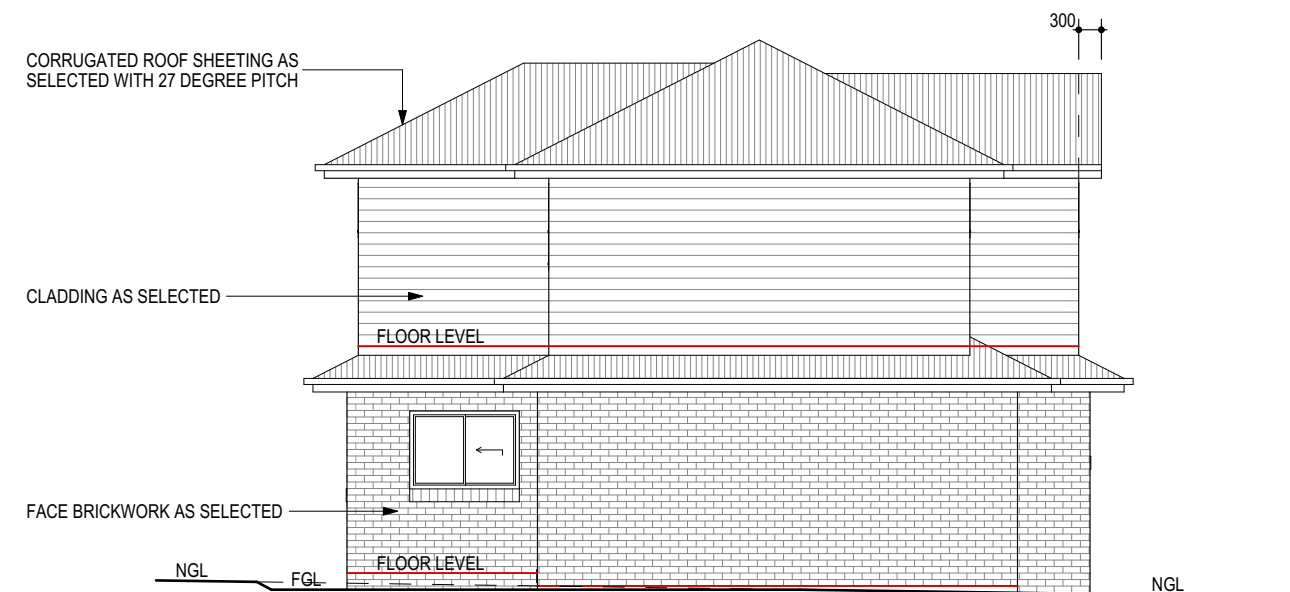
UNIT 5
WESTERN ELEVATION
SCALE 1:100 @ A3



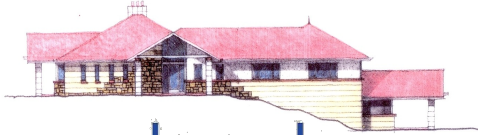
UNIT 5
SOUTHERN ELEVATION
SCALE 1:100 @ A3



UNIT 5
NORTHERN ELEVATION
SCALE 1:100 @ A3

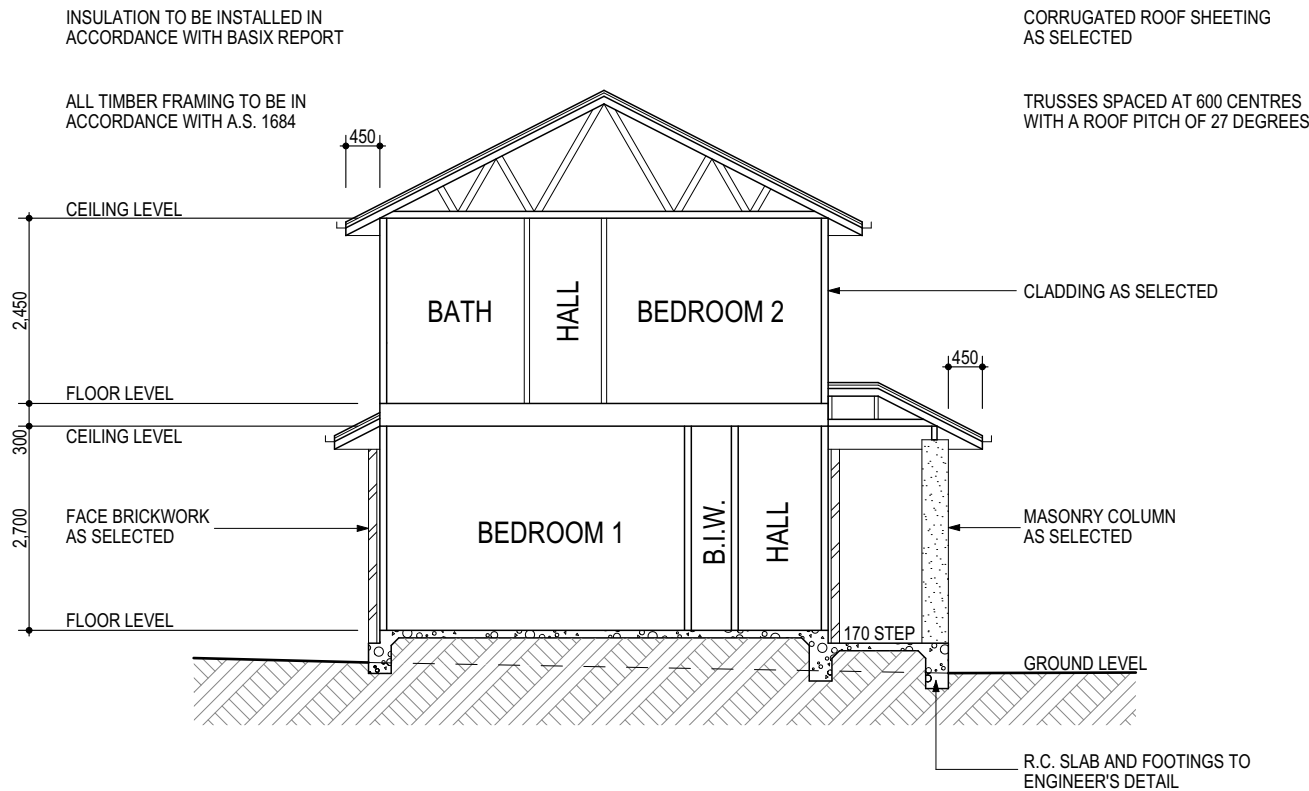


UNIT 5
EASTERN ELEVATION
SCALE 1:100 @ A3

			PROJECT NAME : Medium Density Development DRAWING TITLE : Unit 5 Elevations DRAWN BY : AD CHECKED BY : GKI LONGITUDE: 150.57880 LATITUDE: -34.29186	CLIENT NAME : Mr Daniel Carpenter SITE DETAILS: No. 73 Radnor Road, Bargo LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	PLOT DATE: 16/05/2019 DRAWING NO: 9021 SOFTWARE: ArchiCad V 22 ISSUE : A SHEET NO : 16 of 29	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
14/05/2019	FIRST ISSUE	A				
DATE	REVISION	ISSUE				



Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574
www.nathers.gov.au



UNIT 6
SECTION S/05
SCALE 1:100 @ A3

Unit 6 BASIX Notes:

- WATER**
- Minimum 1500 litre rainwater tank collecting 100% of roof water with connections to gardens, toilets & Laundry
 - 3 star rated showerheads
 - 4 star rated toilets & taps
- THERMAL COMFORT**
- Waffle pod slab
 - Minimum R2.5 insulation to external walls(excluding garage)
 - R3.5 insulation to ceilings (excludes garage)(units 1, 2, 3, 4 & 6)
 - R5.0 insulation to ceilings (excludes garage)(units 5 only)
 - R2.5 insulation to walls between house & garage
 - R2.5 insulation to ceiling/floor between house & garage
 - R2.5 insulation to walls between house & roof space
 - R2.0 insulation to floor of first floor where it extends Past lower level(units 3 & 4)
 - R2.5 insulation to the internal walls of the Bathroom & P/R(unit 5 only)
 - Sarking to underside of roof
 - Medium wall & dark roof colour
 - Weatherseals to all external doors including internal access to garage
 - Default floor coverings used in NatHERS rating
 - Insulation must be installed in accordance with NCC and relevant Australian Standards.
 - Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
 - Double clear glazing with aluminium frame to Unit 5 W07, W08, & W09 (Less than U 4.80, within 10% of SHGC 0.59)
 - All other windows & glazed doors to be single glazed clear with aluminium frame(Less than U 6.70, within 10% of SHGC 0.70)
 - Skylights to be single glazed clear
- ENERGY**
- Gas instantaneous 6 star HWS
 - Single phase reverse cycle ducted zoned air-conditioning with EER 3.0-3.5
 - Ducted rangehood to kitchen with manual on/off switch(sealed)
 - Ducted exhaust fan to bathrooms, ensuites & laundry's (ex unit 2) with manual on/off switches(sealed)
 - Gas cooktop & electric oven
 - Well ventilated fridge space
 - Permanent outdoors clothesline
 - Compact fluorescent, fluorescent or LED lights throughout(excluding bathrooms & toilets)
 - Minimum 1.0 peak kilowatt photovoltaic system to be installed(unit 1 only)

UNIT 6 WINDOW SCHEDULE

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U5 W16	SW 1021	1,030	2,140			2,100
U5 W17	SW 0621	600	2,140			2,100
U5 W18	SW 0621	600	2,140			2,100
U6 W01	AW 1307	1,370	730			2,143
U6 W02	SW 0424	450	2,410			2,143
U6 W03	SW 0424	450	2,410			2,143
U6 W04	ST 2132	2,100	3,250			2,143
U6 W05	SW 1015	1,030	1,570			2,143
U6 W06	SW 1012	1,030	1,200			2,143
U6 W07	SW 1318	1,370	1,810			2,143
U6 W08	SW 0618	600	1,810			2,483
U6 W09	SW 1215	1,200	1,570			2,100
U6 W10	SW 1215	1,200	1,570			2,100
U6 W11	SW 0615	600	1,570			2,100
U6 W12	SW 0626	600	2,650			2,100

WINDOW & DOOR SIZES TO BE CONFIRMED BY
BUILDER PRIOR TO ORDERING

PROJECT NAME :
Medium Density Development

DRAWING TITLE :
Unit 6 Section & Window Schedule

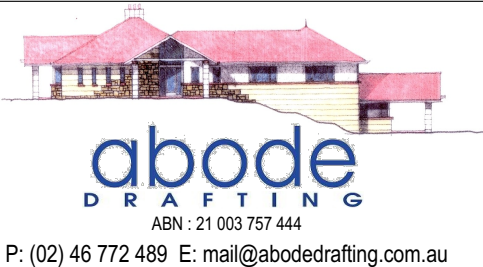
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CLIENT NAME :
Mr Daniel Carpenter

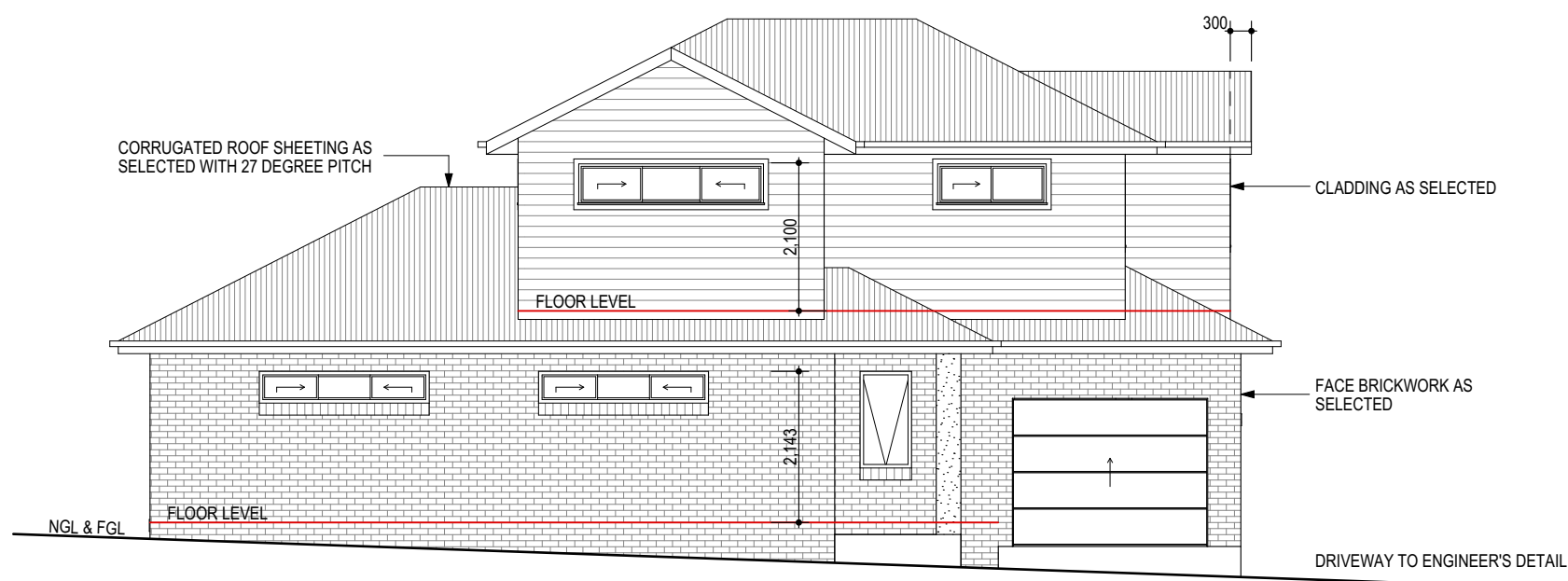
SITE DETAILS:
No. 73 Radnor Road, Bargo

LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m
FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3

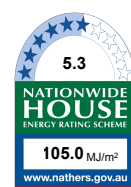
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DRAWING NO: 9021
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ISSUE : A
SHEET NO : 19 of 29



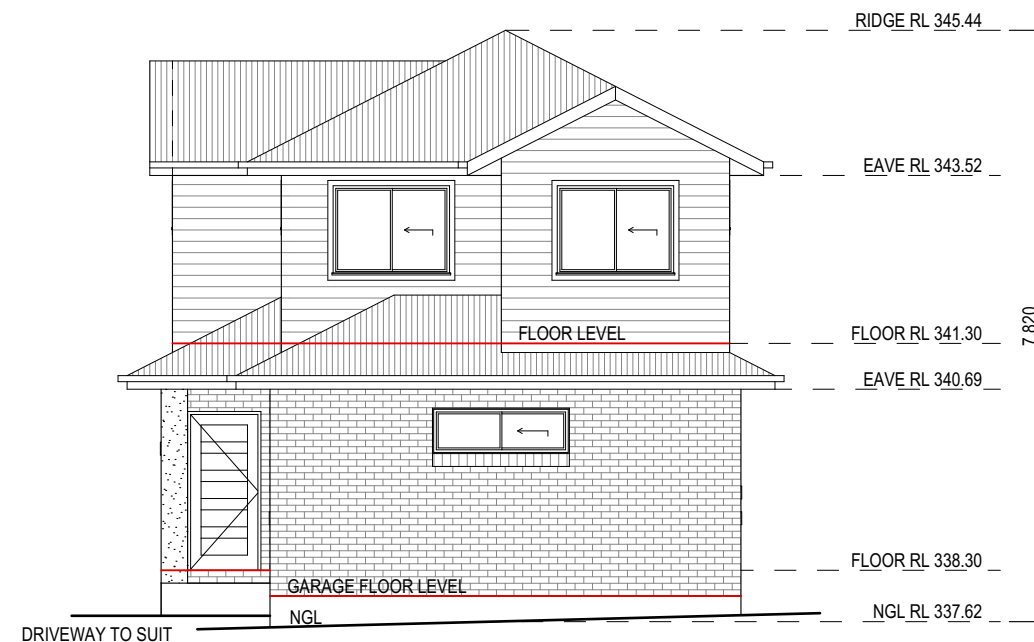
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DATE	REVISION	ISSUE



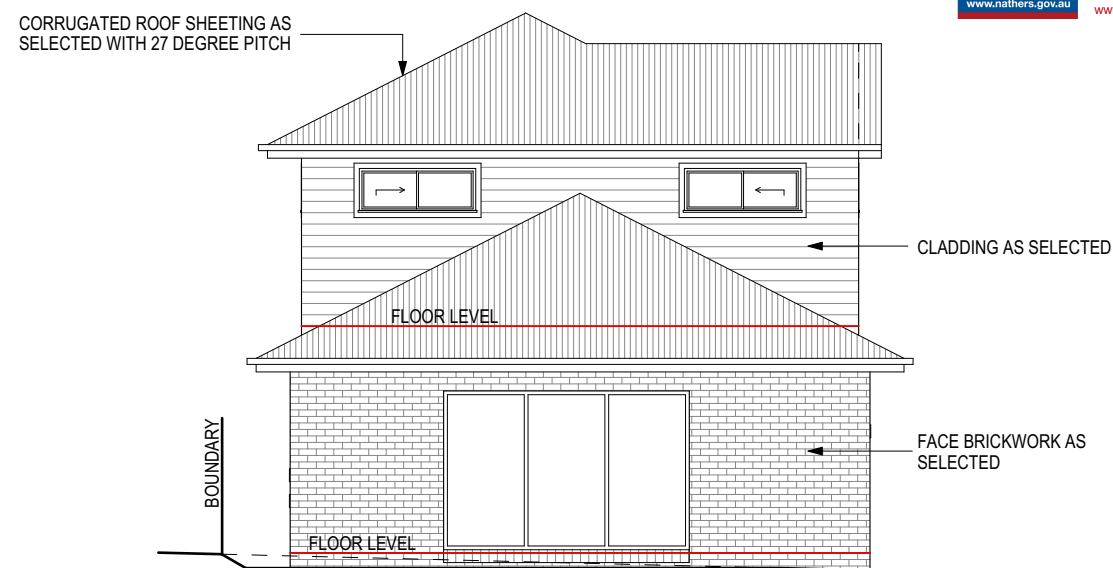
UNIT 6
NORTHERN ELEVATION
SCALE 1:100 @ A3



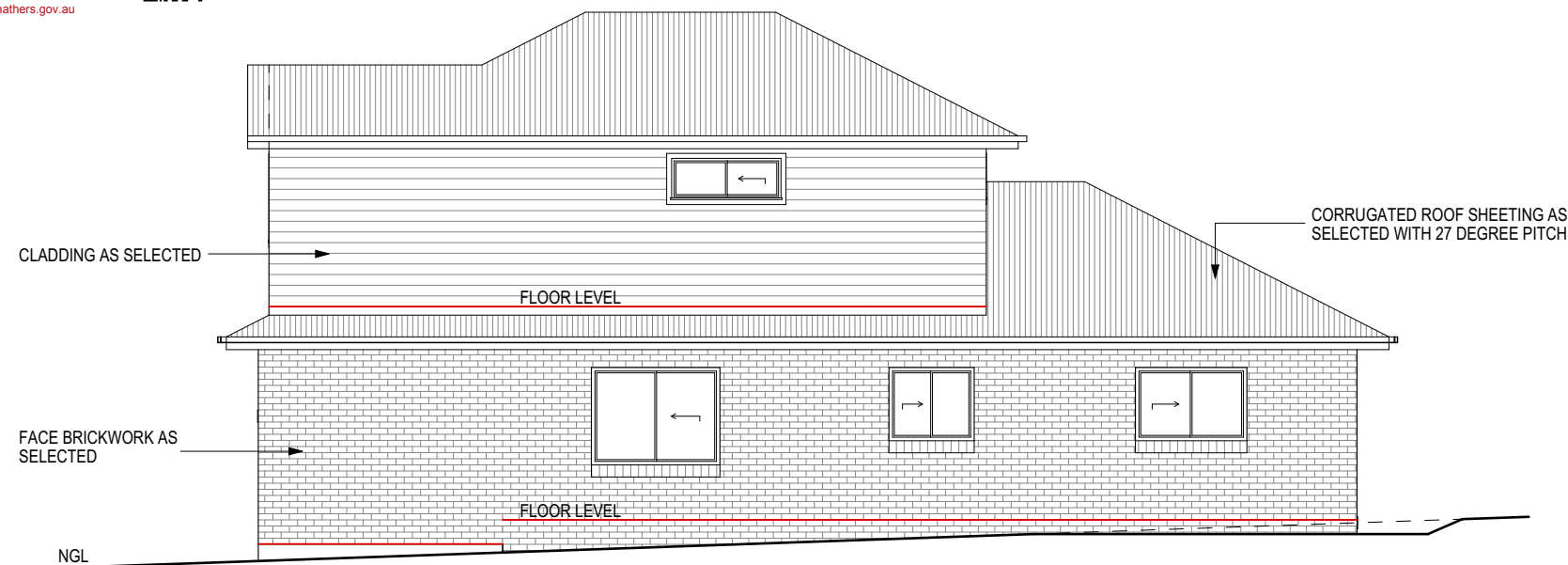
Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW 2574
www.nathers.gov.au



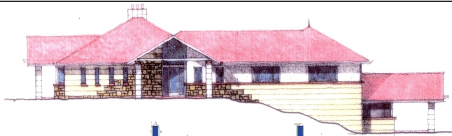
UNIT 6
WESTERN ELEVATION
SCALE 1:100 @ A3

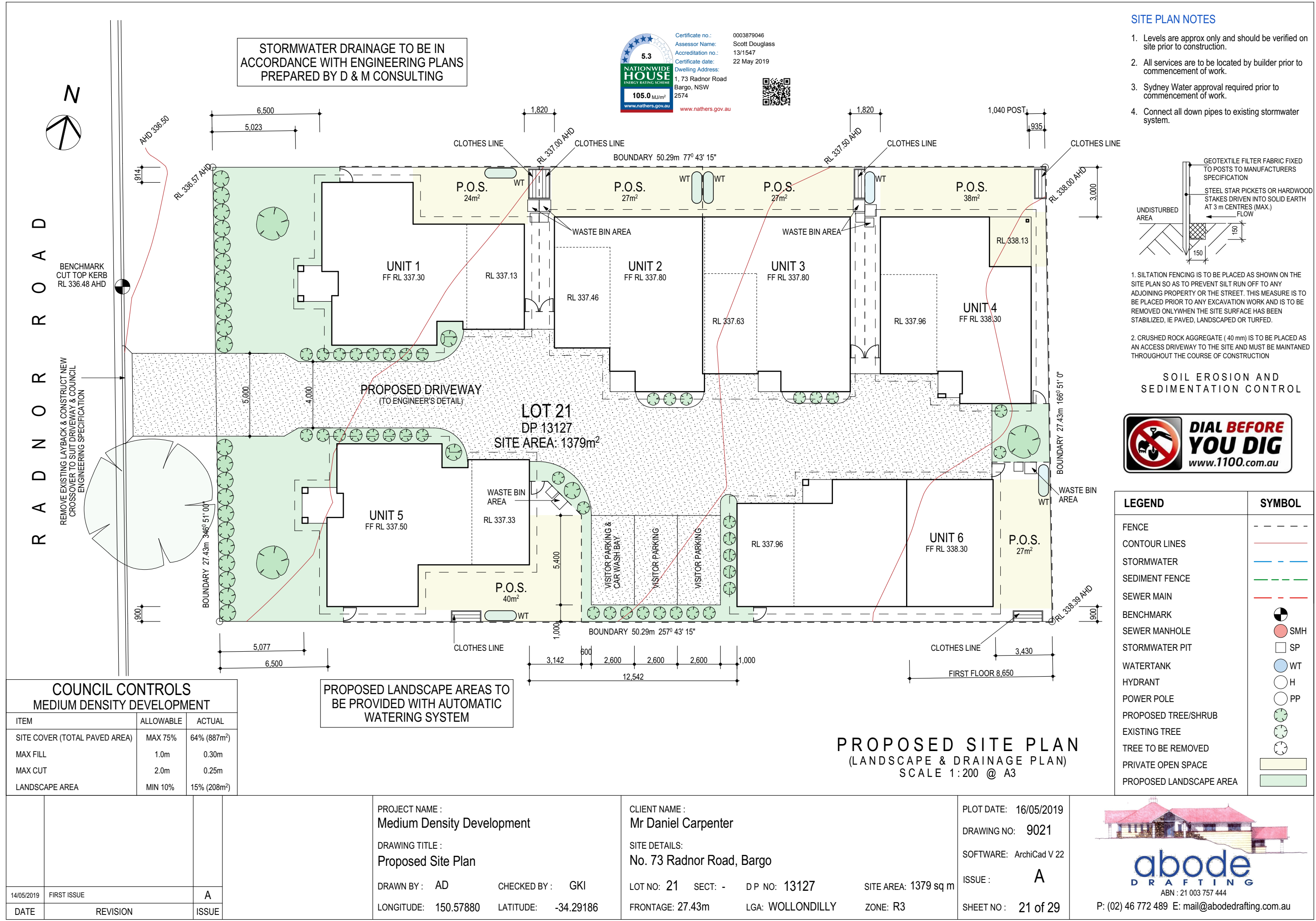


UNIT 6
EASTERN ELEVATION
SCALE 1:100 @ A3



UNIT 6
SOUTHERN ELEVATION
SCALE 1:100 @ A3

				PROJECT NAME : Medium Density Development DRAWING TITLE : Unit 6 Elevations DRAWN BY : AD CHECKED BY : GKI LONGITUDE: 150.57880 LATITUDE: -34.29186	CLIENT NAME : Mr Daniel Carpenter SITE DETAILS: No. 73 Radnor Road, Bargo LOT NO: 21 SECT: - D P NO: 13127 FRONTAGE: 27.43m LGA: WOLLONDILLY	SITE AREA: 1379 sq m ZONE: R3	PLOT DATE: 16/05/2019 DRAWING NO: 9021 SOFTWARE: ArchiCad V 22 ISSUE : A SHEET NO : 20 of 29	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
14/05/2019	FIRST ISSUE	A						
DATE	REVISION	ISSUE						

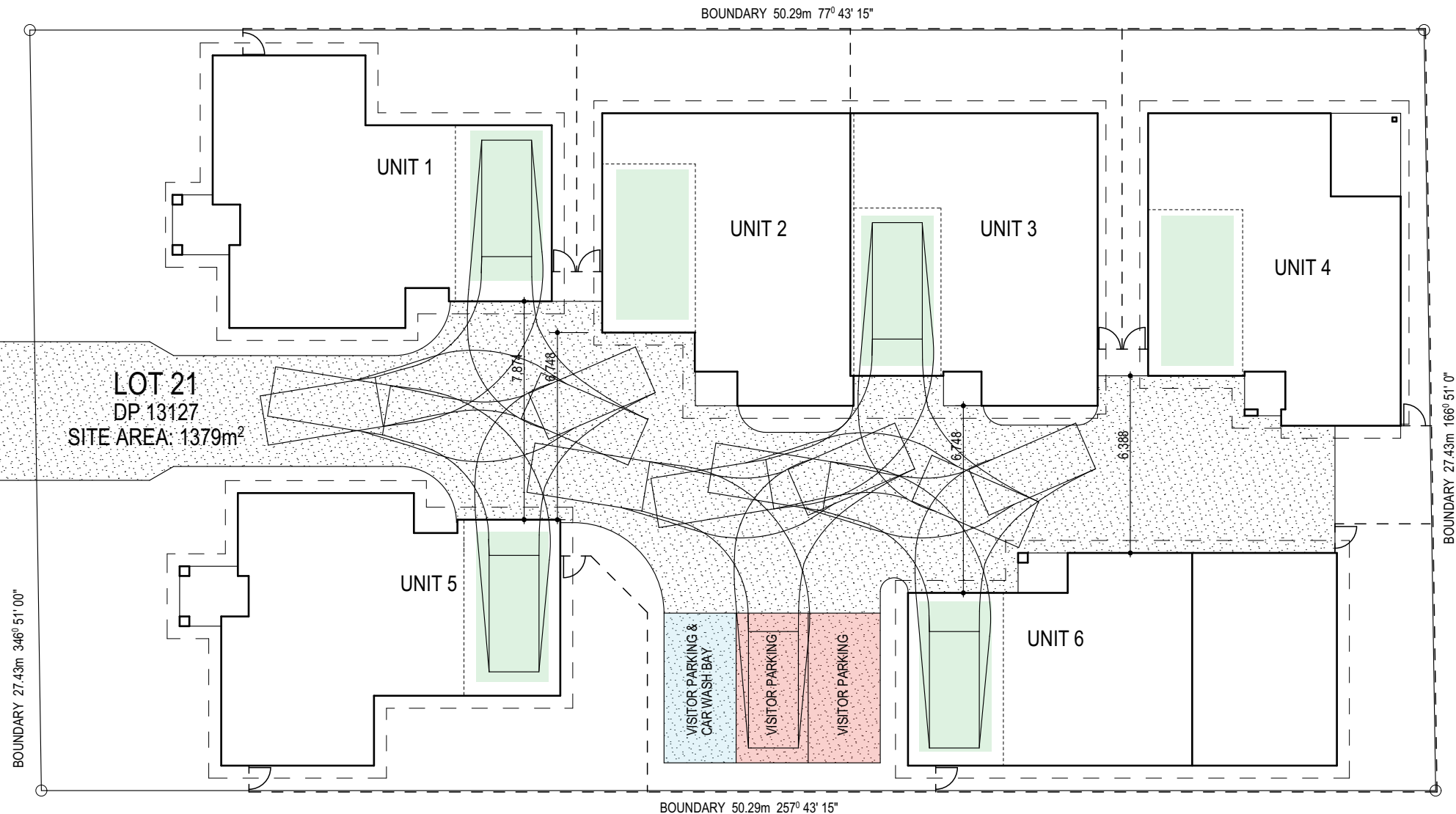




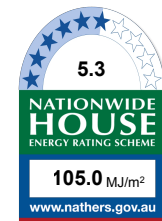
R A D N O R R O A D

REMOVE EXISTING LAYBACK & CONSTRUCT NEW
CROSSOVER TO SUIT DRIVEWAY & COUNCIL
ENGINEERING SPECIFICATION

DRIVEWAY APRON & GARAGE OPENING
WIDTHS DESIGNED TO BE IN ACCORDANCE
WITH AS2890.1 - 2004 CLAUSE 5.4



ALL GARAGE OPENING WIDTHS TO BE 2770mm



Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW 2574
www.nathers.gov.au



PROPOSED CARPARKING PLAN

SCALE 1:200 @ A3

LEGEND	SYMBOL
UNIT PARKING	
VISITOR PARKING	
VISITOR PARKING / WASH BAY	

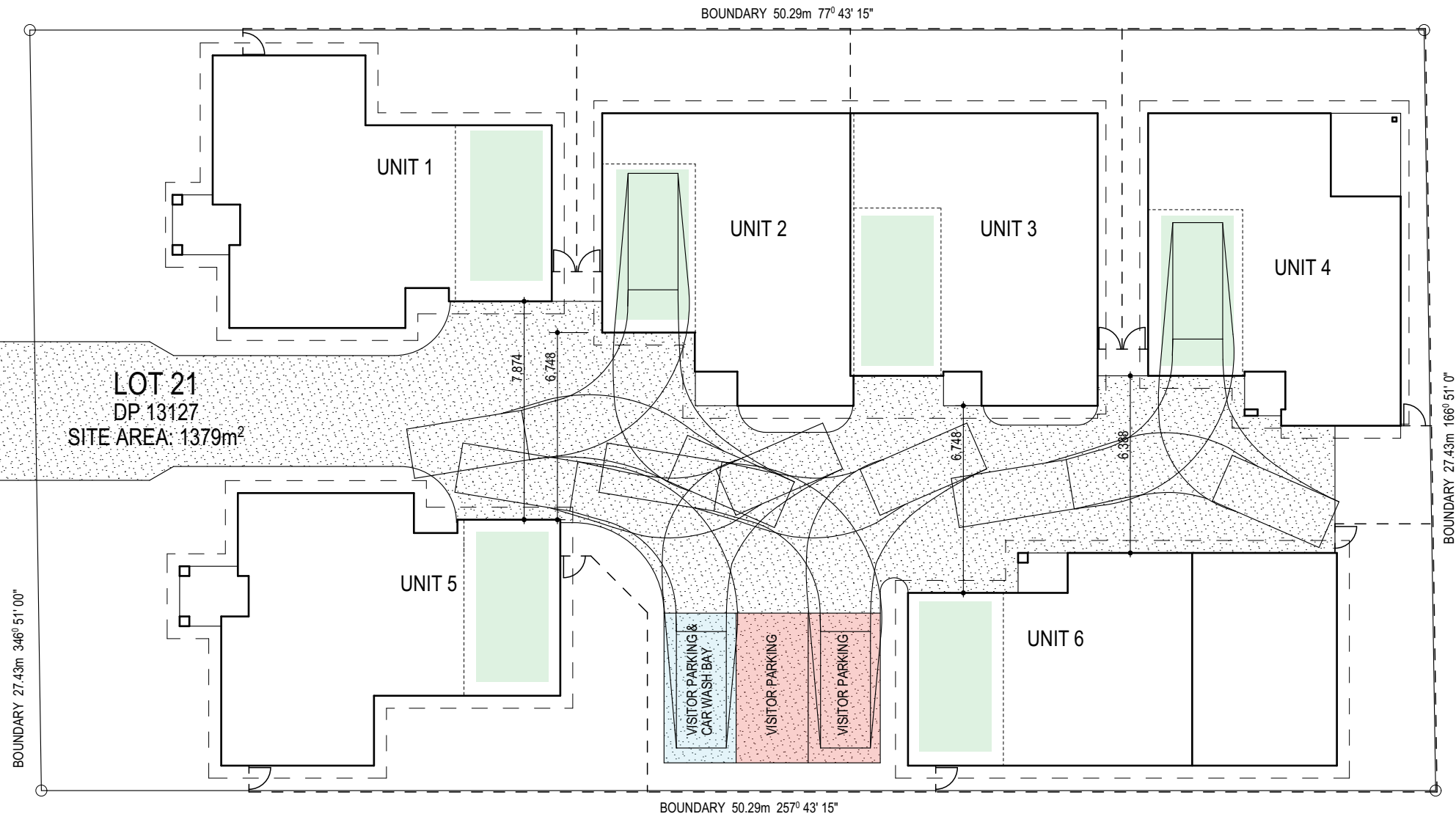
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			DRAWING TITLE : Proposed Carparking 1/2	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
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				LGA: WOLLONDILLY	ISSUE : A	
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				FRONTAGE: 27.43m	ISSUE : A	
				LGA: WOLLONDILLY	ISSUE : A	
				SITE AREA: 1379 sq m	ISSUE : A	
				FRONTAGE: 27.43m	ISSUE : A	
				LGA: WOLLONDILLY	ISSUE : A	
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				FRONTAGE: 27.43m	ISSUE : A	
				LGA: WOLLONDILLY	ISSUE : A	
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				FRONTAGE: 27.43m	ISSUE : A	
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				FRONTAGE: 27.43m	ISSUE : A	
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				SITE AREA: 1379 sq m	ISSUE : A	
				FRONTAGE: 27.43m	ISSUE : A	
				LGA: WOLLONDILLY	ISSUE : A	



R A D N O R R O A D

REMOVE EXISTING LAYBACK & CONSTRUCT NEW
CROSSOVER TO SUIT DRIVEWAY & COUNCIL
ENGINEERING SPECIFICATION

DRIVEWAY APRON & GARAGE OPENING
WIDTHS DESIGNED TO BE IN ACCORDANCE
WITH AS2890.1 - 2004 CLAUSE 5.4



ALL GARAGE OPENING WIDTHS TO BE 2770mm



Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address:
1, 73 Radnor Road
Bargo, NSW
2574
www.nathers.gov.au

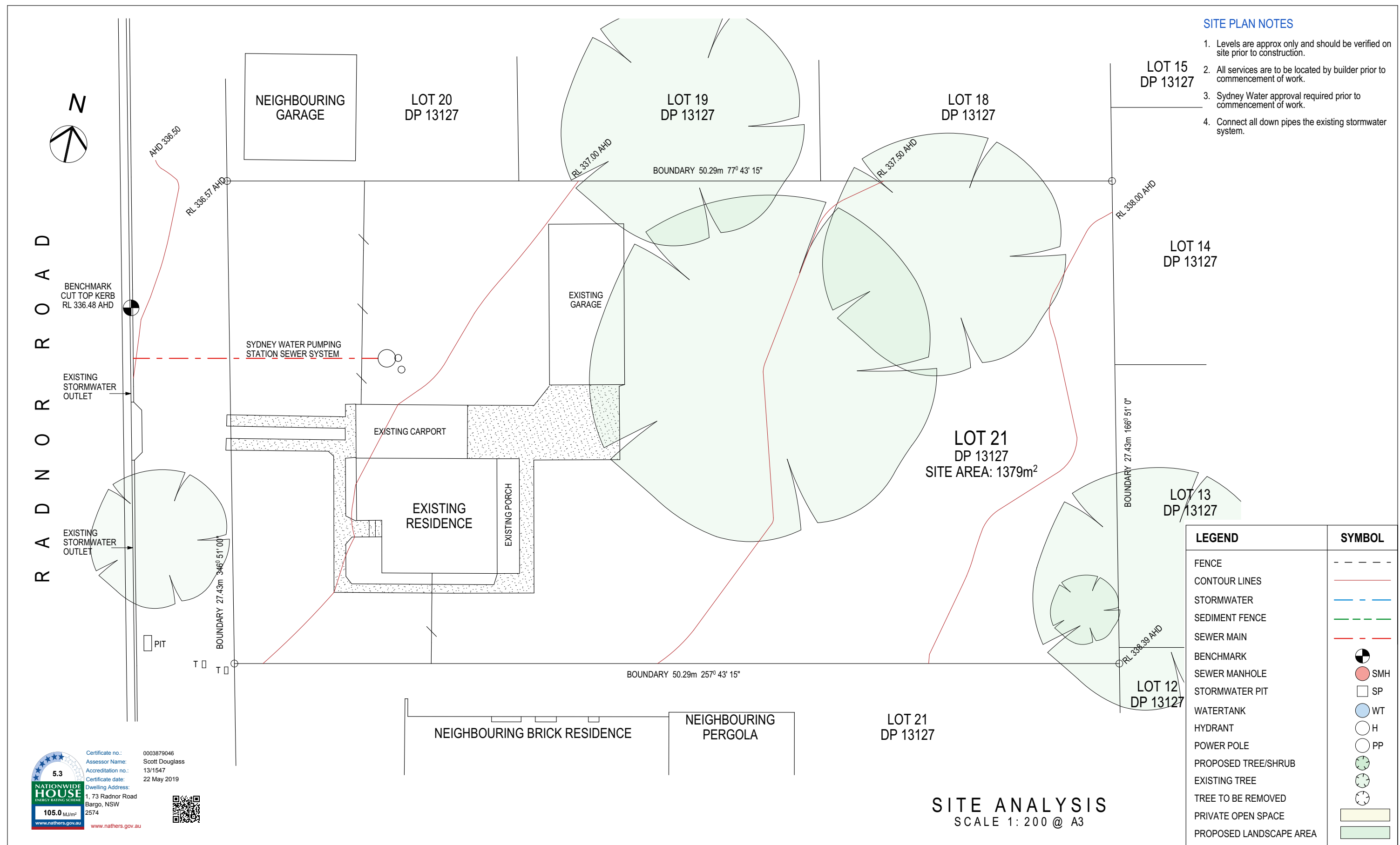


PROPOSED CARPARKING PLAN

SCALE 1:200 @ A3

LEGEND	SYMBOL
UNIT PARKING	
VISITOR PARKING	
VISITOR PARKING / WASH BAY	

			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : Proposed Carparking 2/2	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
			DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m	SOFTWARE: ArchiCad V 22	
14/05/2019	FIRST ISSUE	A	LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	ISSUE : A	
DATE	REVISION	ISSUE			SHEET NO : 23 of 29	





EXISTING BUILDING
TO BE REMOVED

EXISTING DWELLING
TO BE REMOVED

EXISTING TREE TO
BE REMOVED

EXISTING TREE TO
BE REMOVED

BOUNDARY 27.43m 166° 51' 0"















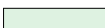

BOUNDARY 50.29m 77° 43' 15"


BOUNDARY 50.29m 257° 43' 15"

DEMOLITION PLAN
SCALE 1:200 @ A3

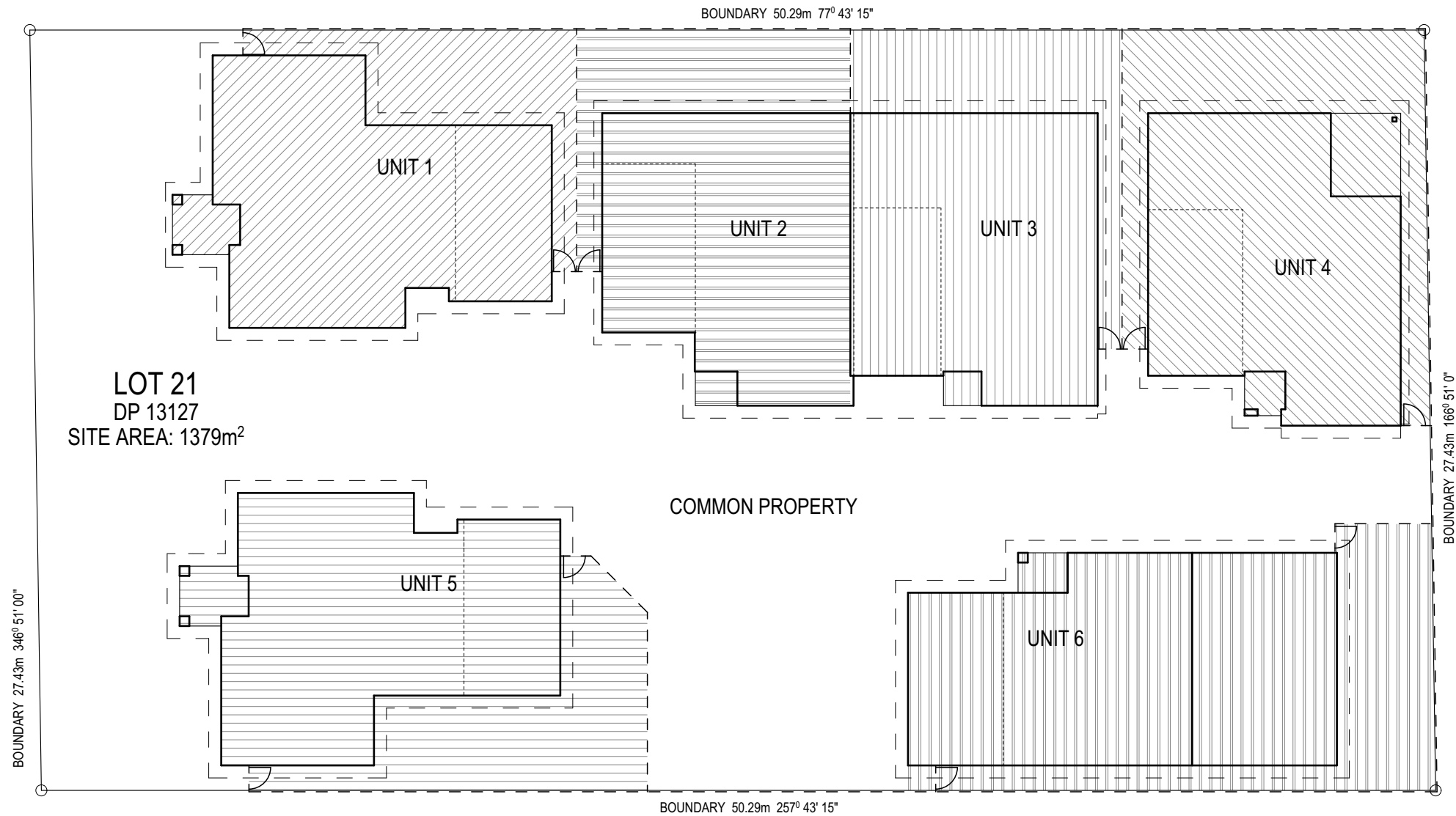
1. Levels are approx only and should be verified on site prior to construction.
2. All services are to be located by builder prior to commencement of work.
3. Sydney Water approval required prior to commencement of work.
4. Connect all down pipes to existing stormwater system.



LEGEND	SYMBOL
FENCE	
CONTOUR LINES	
STORMWATER	
SEDIMENT FENCE	
SEWER MAIN	
BENCHMARK	
SEWER MANHOLE	 SMH
STORMWATER PIT	 SP
WATERTANK	 WT
HYDRANT	 H
POWER POLE	 PP
PROPOSED TREE/SHRUB	
EXISTING TREE	
TREE TO BE REMOVED	
PRIVATE OPEN SPACE	
PROPOSED LANDSCAPE AREA	

			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019				
			DRAWING TITLE : Demolition Plan	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021				
					SOFTWARE: ArchiCad V 22				
14/05/2019	FIRST ISSUE	A	DRAWN BY : AD	CHECKED BY : GKI	LOT NO: 21	SECT: -	D P NO: 13127	SITE AREA: 1379 sq m	ISSUE : A
DATE	REVISION	ISSUE	LONGITUDE: 150.57880	LATITUDE: -34.29186	FRONTAGE: 27.43m	LGA: WOLLONDILLY	ZONE: R3	SHEET NO : 25 of 29	P: (02) 46 772 489 E: mail@abodedrafting.com.au

R A D N O R R O A D



PROPOSED STRATA
PLAN
SCALE 1: 200 @ A3

5.3
NATATIONWIDE
HOUSE
ENERGY RATING SCHEME
105.0 MJ/m²
www.nathers.gov.au

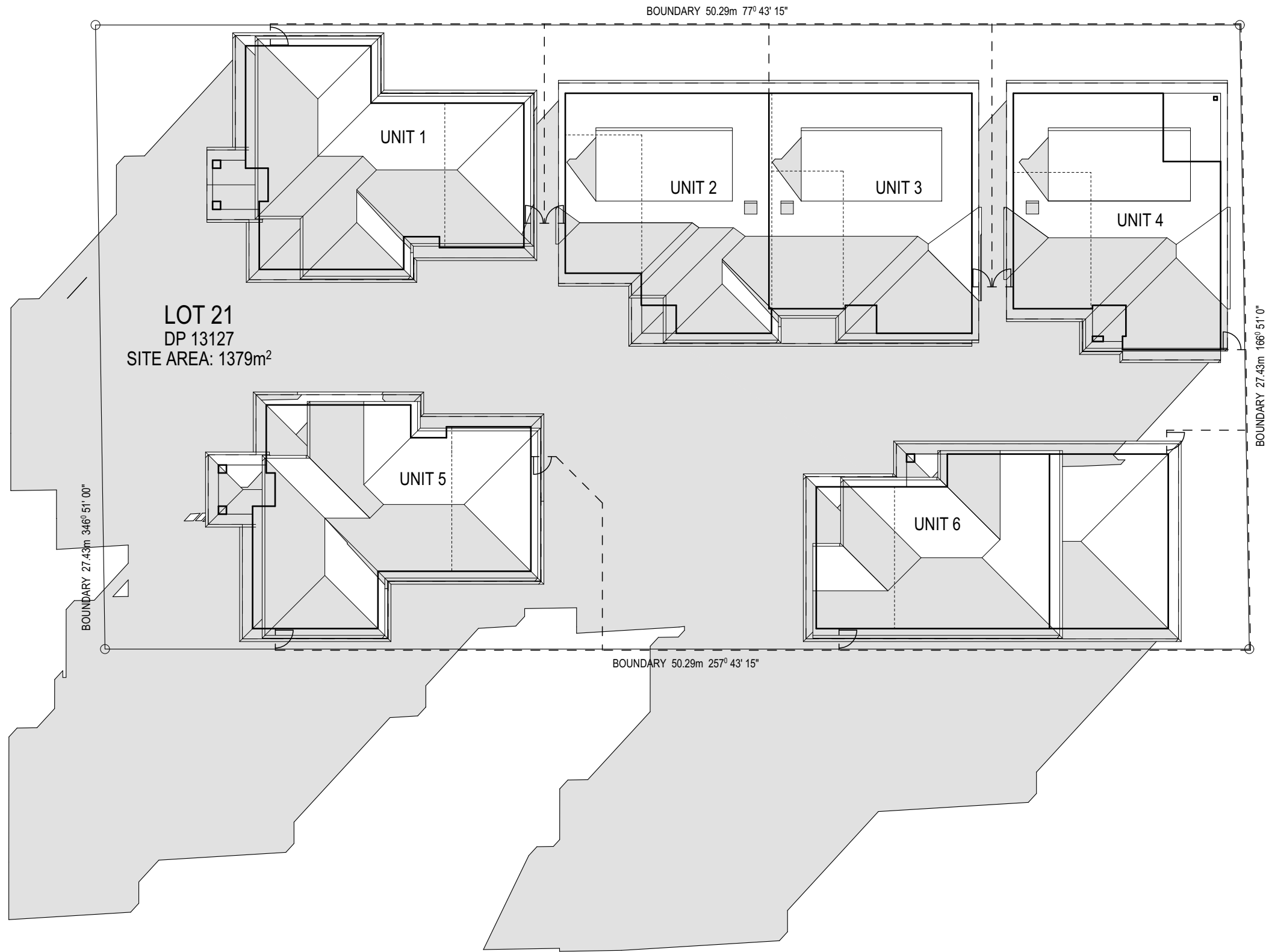
Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address:
1, 73 Radnor Road
Bargo, NSW
2574
www.nathers.gov.au

SCHEDULE OF UNIT ENTITLEMENTS	
UNIT	UNIT ENTITLEMENT
UNIT 1	1/6
UNIT 2	1/6
UNIT 3	1/6
UNIT 4	1/6
UNIT 5	1/6
UNIT 6	1/6
AGGREGATE	6/6

14/05/2019	FIRST ISSUE	A	PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 P: (02) 46 772 489 E: mail@abodedrafting.com.au
	REVISION	ISSUE	DRAWING TITLE : Proposed Strata Paln	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
DATE	REVISION	ISSUE	DRAWN BY : AD LONGITUDE: 150.57880	CHECKED BY : GKI LATITUDE: -34.29186	SOFTWARE: ArchiCad V 22 ISSUE : A SHEET NO : 26 of 29	
			LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m		FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3	




R A D N O R R O A D

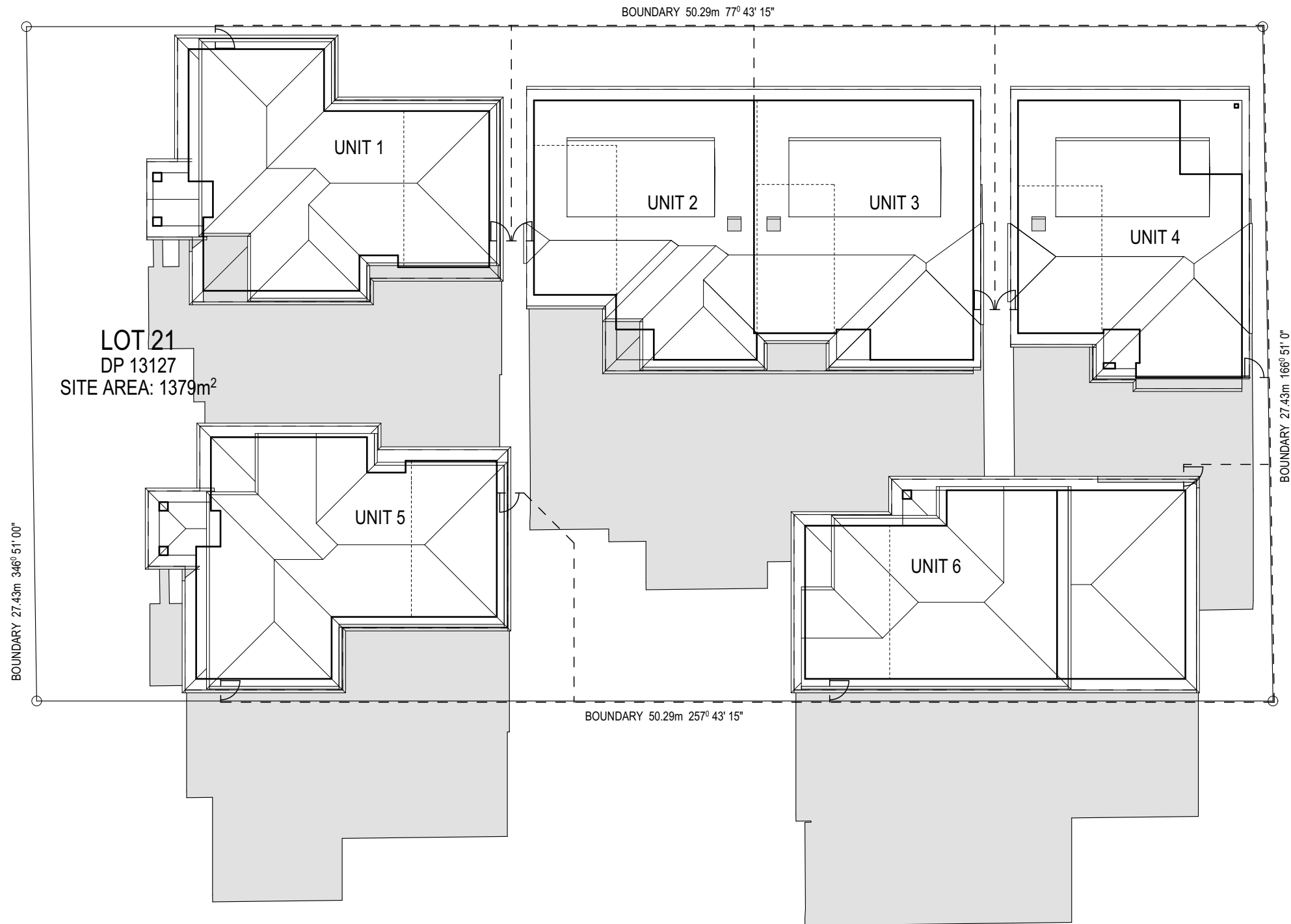


Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW 2574
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SHADOW DIAGRAM
9am JUNE 21ST
SCALE 1: 200 @ A3

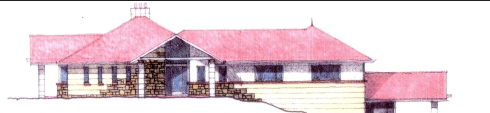
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DRAWN BY : AD		LOT NO: 21 SECT: - D P NO: 13127		SOFTWARE: ArchiCad V 22		
CHECKED BY : GKI		FRONTAGE: 27.43m LGA: WOLLONDILLY		ISSUE : A		
LONGITUDE: 150.57880 LATITUDE: -34.29186		SITE AREA: 1379 sq m ZONE: R3		SHEET NO : 27 of 29		

R A D N O R R O A D



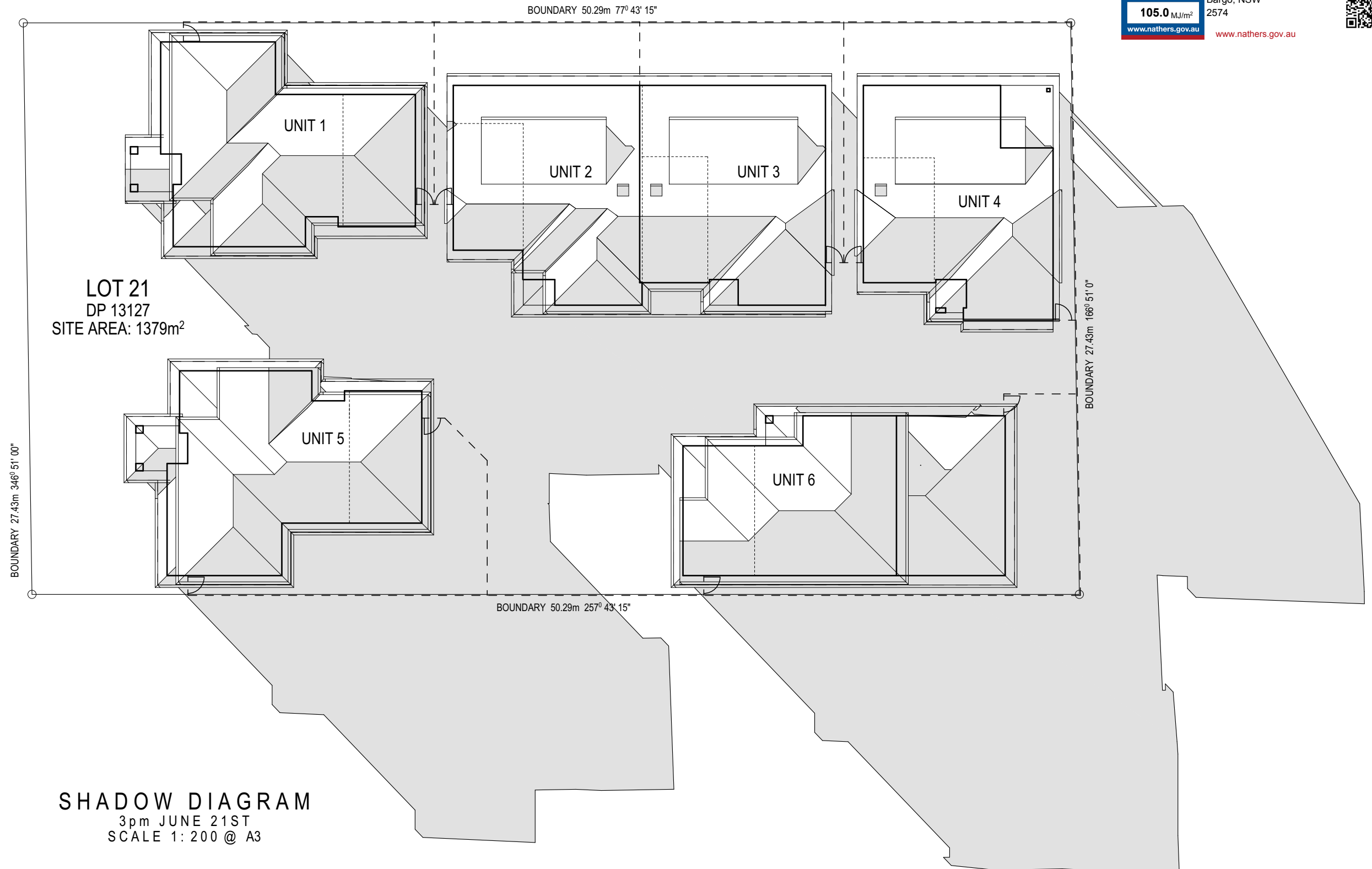
SHADOW DIAGRAM
12pm JUNE 21ST
SCALE 1: 200 @ A3

Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road Bargo, NSW 2574
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			PROJECT NAME : Medium Density Development		CLIENT NAME : Mr Daniel Carpenter			PLOT DATE: 16/05/2019		 ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : 12 pm Shadow Diagram		SITE DETAILS: No. 73 Radnor Road, Bargo			DRAWING NO: 9021		
			DRAWN BY: AD CHECKED BY: GKI		LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m			SOFTWARE: ArchiCad V 22		
			LONGITUDE: 150.57880 LATITUDE: -34.29186		FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3			ISSUE : A		
14/05/2019	FIRST ISSUE	A								
DATE	REVISION	ISSUE								



R A D N O R R O A D

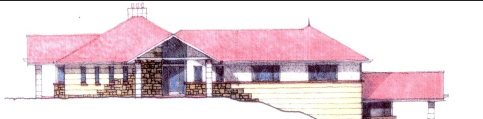


SHADOW DIAGRAM
3pm JUNE 21ST
SCALE 1: 200 @ A3



Certificate no.: 0003879046
Assessor Name: Scott Douglass
Accreditation no.: 13/1547
Certificate date: 22 May 2019
Dwelling Address: 1, 73 Radnor Road
Bargo, NSW
2574
www.nathers.gov.au



			PROJECT NAME : Medium Density Development	CLIENT NAME : Mr Daniel Carpenter	PLOT DATE: 16/05/2019	 abode DRAFTING ABN : 21 003 757 444 P: (02) 46 772 489 E: mail@abodedrafting.com.au
			DRAWING TITLE : 3pm Shadow Diagram	SITE DETAILS: No. 73 Radnor Road, Bargo	DRAWING NO: 9021	
					SOFTWARE: ArchiCad V 22	
					ISSUE : A	
					SHEET NO : 29 of 29	
14/05/2019	FIRST ISSUE	A	DRAWN BY : AD CHECKED BY : GKI	LOT NO: 21 SECT: - D P NO: 13127 SITE AREA: 1379 sq m		
DATE	REVISION	ISSUE	LONGITUDE: 150.57880 LATITUDE: -34.29186	FRONTAGE: 27.43m LGA: WOLLONDILLY ZONE: R3		